



ACTIVITY DETERMINATION

Project No. BGZDZ

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Acting Chief Executive, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Acting Chief Executive, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed.....

Dated..

18 December 2023

Emma Nicholson

A/Head of Policy and Innovation

Land and Housing Corporation, Department of Planning & Environment

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified Requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No

10-16

Street or property name

Albert Street

Suburb, town or locality

Casino

Postcode

2470

Local Government Area(s)

Richmond Valley

Real property description (Lot and DP)

Lots 22,23,24 & 25 in DP 36270

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of existing dwellings and structures, removal of trees, and the construction of 17 multi-dwelling houses comprising 10 x 2 bedroom and 7 x 3 bedroom dwellings, with associated landscaping and fencing, surface parking for 21 cars, and consolidation into a single lot.

¹ Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed.....

18 December 2023
Dated.....

Emma Nicholson
A/Head of Policy and Innovation
Land and Housing Corporation
Department of Planning & Environment

SCHEDULE 1

IDENTIFIED REQUIREMENTS

PART A – Standard Identified Requirements

THE DEVELOPMENT

The following Identified Requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned identified requirements:

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Architectural Plans – Appendix A				
Location Diagram	A01	A	27/04/2023	Barry Rush & Associates Pty Ltd
Site Analysis Plan	A02	A	27/04/2023	Barry Rush & Associates Pty Ltd
Site Plan	A03	A	27/04/2023	Barry Rush & Associates Pty Ltd
Amended Waste Bin Design	A04	A	24/08/2023	Barry Rush & Associates Pty Ltd
Ground Floor Plan	A04	A	27/04/2023	Barry Rush & Associates Pty Ltd
First Floor Plan	A05	A	27/04/2023	Barry Rush & Associates Pty Ltd
Roof Plan	A06	A	27/04/2023	Barry Rush & Associates Pty Ltd
Elevations	A07	A	27/04/2023	Barry Rush & Associates Pty Ltd
Sections A-A, B-B, C-C & D-D	A08	A	27/04/2023	Barry Rush & Associates Pty Ltd
Sections E-E, F-F, G-G & H-H	A09	A	27/04/2023	Barry Rush & Associates Pty Ltd
Development Data	A10	A	27/04/2023	Barry Rush & Associates Pty Ltd
External Colour & Finishes	A11	A	27/04/2023	Barry Rush & Associates Pty Ltd

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Schedule				
Block Analysis Plan	A12	A	27/04/2023	Barry Rush & Associates Pty Ltd
Shadow Diagrams – Mid Winter	A13	A	27/04/2023	Barry Rush & Associates Pty Ltd
Views from Sun – Mid Winter	A14	A	27/04/2023	Barry Rush & Associates Pty Ltd
Street Perspective	A15	A	27/04/2023	Barry Rush & Associates Pty Ltd
Demolition Plan	A16	A	27/04/2023	Barry Rush & Associates Pty Ltd
Areas of Excavation and Fill	A17	A	27/04/2023	Barry Rush & Associates Pty Ltd
Landscape Plans – Appendix B				
Landscape Plan	LA 1 of 2	B	22/06/2023	Green Land Design
Landscape Details and Specification	LA 2 of 2	B	22/06/2023	Green Land Design
Stormwater Plans – Appendix C				
Cover Sheet, Legend and Drawing Schedule	SYD23189-SW000	P1	17/05/2023	Erbas
Stormwater Services Erosion & Sediment Control Plan	SYD23189-SW001	P1	17/05/2023	Erbas
Stormwater Services Street Connection Plan	SYD23189-SW100	P2	06/10/2023	Erbas
Stormwater Services - Ground Floor Plan	SYD23189-SW101	P2	06/10/2023	Erbas
Stormwater Services - First Floor Plan	SYD23189-SW102	P2	06/10/2023	Erbas
Stormwater Services - Roof Plan	SYD23189-SW103	P2	06/10/2023	Erbas
Stormwater Services – Detail Sheet 01	SYD23189-SW201	P1	17/05/2023	Erbas
Stormwater Services – Detail Sheet 02	SYD23189-SW202	P1	17/05/2023	Erbas
Stormwater Services – Detail Sheet 03	SYD23189-SW203	P1	17/05/2023	Erbas
Survey Plans – Appendix D				
Detail and Level Survey	Sheet 1 of 3	S	06/09/2022	RPS Australia East Pty Ltd
Detail and Level Survey	Sheet 2 of 3	S	06/09/2022	RPS Australia East Pty Ltd

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Detail and Level Survey	Sheet 3 of 3	S	06/09/2022	RPS Australia East Pty Ltd
BASIX Certificate – Appendix K	Basix Certification no. 1391454M	-	18/05/2023	Building Sustainability Assessments
NatHERS Certificate – Appendix L	Certificate No 0008653250	-	18/05/2023	Building Sustainability Assessments
Hydrant Coverage – Appendix S				
	SKH01	A	30/08/2023	Erbas
	SKH02	A	30/08/2023	Erbas
	SKH02	A	30/08/2023	Erbas
Specialist Reports				
Arboricultural Impact Assessment – Appendix J	F420	A	22/05/2023	Creative Planning Solutions
BCA Design Compliance Assessment - Appendix H	P230082	1	18/05/2023	BCA vision
Geotechnical Investigation - Appendix O	31897/6742D-G	-	September 2022	STS Geotechnics Pty Ltd
Traffic Impact Assessment- Appendix R	-	-	May 2023	Fernway Engineering
Waste Minimisation and Management Plan – Appendix P	-	-	18/05/2023	Barry Rush & Associates Pty Ltd

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the Environmental Planning and Assessment Act 1979.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Richmond Valley Council substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. Concrete vehicular crossings and laybacks shall be provided at the entrances / exits to the property. The crossings and laybacks shall be constructed in accordance with Richmond Valley Council's standard requirements for residential crossings. Council shall be provided with plans for the crossings and laybacks together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the laybacks / driveways shall be borne by the Land & Housing Corporation. Obsolete gutter laybacks shall be removed and the roadway reconstructed in accordance with Richmond Valley Council's standards.

Note:

It is recommended that discussion be held with the relevant authorities before construction works commence.

12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set-out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).

14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the buildings in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
 - i. be connected to a permanent 240V power supply; and
 - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s) and maintained for a period of 12 months by the building contractor. Richmond Valley Council shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved Landscape Plan and Arboricultural Impact Assessment report and no other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following Identified Requirements are to be complied with prior to any work commencing on the site, including demolition.

Disconnection of Services

24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
25. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Demolition

26. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of 5 working days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
27. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
28. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

Note:

Any buildings constructed before 1987 is assumed to contain asbestos.

Utilities Service Provider Notification

29. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Richmond Valley Council or Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note:

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Council Notification

30. Richmond Valley Council shall be advised in writing, of the date it is intended to commence work, including demolition. A minimum period of **5** working days notification shall be given.

Site Safety

31. A sign shall be erected in a prominent position on any site on which demolition or building work is being carried out:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

32. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

33. No building or demolition materials are to be stored on the footpath or roadway.

Site Facilities

34. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by

Richmond Valley Council or if this is not practicable to some other council approved management facility.

- (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not to be placed on any property other than that which this approval relates to.

- 35. Access to the site shall only be provided via an all-weather driveway on the property and is not to be provided from any other site.

Protection of Trees

- 36. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Assessment report.

Waste Management

- 37. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.

Service Authority Clearances

- 38. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g. Richmond Valley Council), confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

- 39. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
- 40. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
- 41. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.

Stormwater Disposal

42. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or Richmond Valley Council's drainage code.
43. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services shall be submitted to the Land & Housing Corporation prior to commencement of works. Registration of the plan of easement shall be completed prior to occupation of the development and a copy of the registered plan shall be provided to the Land & Housing Corporation.

DURING DEMOLITION AND CONSTRUCTION WORKS

The following Identified Requirements are to be complied with whilst demolition and construction works are occurring on the site.

Landfill

44. Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
45. Land fill materials must satisfy the following requirements:
 - i. be Virgin Excavated Natural Matter (VENM);
 - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
 - iii. be free of industrial waste and building debris.

Heritage

46. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items have been uncovered, the Department of Planning and Environment must be contacted.
47. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval.

Demolition

48. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
49. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.
50. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) who have current SafeWork NSW accreditation in asbestos removal.

51. Removal of asbestos-based thermal or acoustic insulation, such as sprayed asbestos and asbestos-based lagging, including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].
52. Hazardous or intractable wastes, including all asbestos laden waste, arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW and the Department of Planning and Environment.
53. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
54. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
55. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
56. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

57. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

58. Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

59. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

60. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.
61. No fires shall be lit or waste materials burnt on the site.

- 62. No washing of concrete forms or trucks shall occur on the site.
- 63. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
- 64. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
- 65. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.
- 66. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

- 67. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
- 68. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

Termite Protection

- 69. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection,
- (b) the date of installation of the system,
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label, and
- (d) the need to maintain and inspect the system on a regular basis.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

General

- 70. The use or occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

Council Infrastructure Damage

71. The cost of repairing any damage caused to Richmond Valley Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

72. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Richmond Valley Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and Richmond Valley Council.

PART B – Additional Identified Requirements

Site Specific Requirements

73. Nil requirements.

Requirements Resulting from Council Comments

74. **Sewer**
Prior to the commencement of construction works an investigative survey is to be undertaken to identify the location of the sewer main. This main is to remain and there is to be no structure, footing, overhang or new tree planting within 1.5m of the centreline of the sewer main.

Existing Sewer connections no longer used must be capped at the boundary. If sewer junctions are not utilised they must be removed.

A 3m wide easement (1.5m either side of the sewer pipe) is to be created over the existing sewer main and registered with the consolidation of the 4 allotments.

75. Stormwater
Access to the stormwater detention tank and rainwater storage must be locked to prevent unauthorised access.
76. Developer Contributions
In accordance with Section 64 of the Local Government Act, 1993 and Chapter 6 Part 2 Division 5 of the Water Management Act, 2000 for Water and Sewer Headworks Services area payable to Richmond Valley Council (RVC) prior to the commencement of works.

Section 64 Contributions payable are:

Section 64 Local Govt Act & Water Management Act 2000 Levy Area - Casino	TechOne Code	No. of ET's	\$ / ET for 2023-2024	Amount Payable (\$)
RVC Water Headworks	WatS64Hwks	7.6	\$ 9,630.50	\$ 71,139.80
RVC Sewerage Headworks	SewS64Hwks	10.5	\$ 8,000.00	\$ 84,000.00
Rous Water # Water Headworks	Rous64Hwks	N/A	N/A	\$ NIL
Total Section 64 contributions (current @ 8/8/2023 but generally applicable for payment 1/7/2023 to 30/6/2024) Payments will be in accordance with Council's Revenue Policy at the time of payment				\$155,139.80

77. Waste Storage
Prior to the commencement of construction all architectural plans (**Appendix A**), landscape plans (**Appendix B**) and stormwater/civil engineering plans (**Appendix C**) must be amended to ensure consistency with the Amended Waste Bin Design Plan Sheet A04 dated 24 August 2023 by *Barry Rush and Associates* with regard to the location and dimensions of waste storage areas.
78. Fire Hydrant Coverage
Prior to the commencement of construction an enquiry is to be lodged with Richmond Valley Council to determine the pressure and flow data for the Fire Hydrant coverage.
79. Driveway crossing and works in the road reserve:
All driveway crossings are to have a splay at the point of connection with the road pavement to protect the edge of the pavement from vehicle movements.
- Prior to any works in the Albert Street road reserve the building contractor shall consult Richmond Valley Council, to ensure that the design is in accordance with Council requirements. These works may include works such as construction of vehicle crossings, services, and other infrastructure.

ADVISORY NOTES

- Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialing 1100.

Decision Statement

Project No. BGZDZ

SITE IDENTIFICATION	
STREET ADDRESS	
Unit/Street No	Street or property name
10-16	Albert Street
Suburb, town or locality	Postcode
Casino	2470
Local Government Area(s)	Real property description (Lot and DP)
Richmond Valley	Lots 22,23,24 & 25 in DP 36270
ACTIVITY DESCRIPTION	
Provide a description of the activity	
Demolition of existing dwellings and structures, removal of trees, and the construction of 17 multi-dwelling houses comprising 10 x 2 bedroom and 7 x 3 bedroom dwellings, with associated landscaping and fencing, surface parking for 21 cars, and consolidation into a single lot.	

The Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021*.

Based on the REF document and supporting documentation, including advice from Richmond Valley Council a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within the REF document it was decided that the proposed development will have economic and social benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.

- The proposed development will assist in the provision of much needed social and affordable housing and assist in addressing the existing and growing demand for housing in the Richmond Valley local government area.

Mitigation Measures

- Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 7. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.

Signed..........

18 December 2023
Dated.....

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation
Department of Planning & Environment

DA PLANS

GENERAL HOUSING DEVELOPMENT

10 - 16 ALBERT STREET,CASINO

LOTS 22, 23, 24 & 25 in DP 36270

DRAWING SCHEDULE

ARCHITECTURAL	REFERENCE No	
COVER PAGE	A01	-
SITE ANALYSIS PLAN	A02	-
SITE PLAN	A03	-
GROUND FLOOR PLAN	A04	-
FIRST FLOOR PLAN	A05	-
ROOF PLAN	A06	-
ELEVATIONS	A07	-
SECTIONS A-A, B-B, C-C & D-D	A08	-
SECTIONS E-E, F-F, G-G & H-H	A09	-
DEVELOPMENT DATA	A10	-
FINISHES SCHEDULE	A11	-
BLOCK ANALYSIS PLAN	A12	-
SHADOW DIAGRAMS MID WINTER	A13	-
VIEWS FROM SUN DIAGRAM	A14	-
STREET PERSPECTIVE	A15	-
DEMOLITION PLAN	A16	-
AREAS OF EXCAVATION & FILL	A17	-

CIVIL		
COVER SHEET, LEGEND & DRAWING SCHEDULE	SW000	P1
EROSION & SEDIMENT CONTROL PLAN	SW001	P1
STREET CONNECTION PLAN	SW100	P1
GROUND FLOOR PLAN	SW101	P1
FIRST FLOOR PLAN	SW102	P1
ROOF PLAN	SW103	P1
DETAILS SHEET 1	SW201	P1
DETAILS SHEET 2	SW202	P1
DETAILS SHEET 3	SW203	P1

LANDSCAPE		
LANDSCAPE PLAN	LA 1 OF 2	B
LANDSCAPE DETAILS & SPECIFICATION	LA 2 OF 2	B

SURVEY		
DETAIL AND LEVEL SURVEY	SHT 1 OF 3	
DETAIL AND LEVEL SURVEY	SHT 2 OF 3	
DETAIL AND LEVEL SURVEY	SHT 3 OF 3	

BY: RPS AUSTRALIA EAST PTY LTD

SURVEY REFERENCE 151687
DATE 06/09/2022



LOCATION DIAGRAM



STREET PERSPECTIVE

0 1 2 3 4 5 10 20

METRES

LEGEND

AC	FUTURE A/C LOCATION
B	BROOM CUPBOARD
BK	BICYCLE PARKING
BSN	BASIN
BCH	BENCH
BOE	BRICK ON EDGE
BR	BROOM CUPBOARD
CL	CLOTHES LINE
CMR	COLORBOND METAL ROOFING
CPB	CUPBOARD
CWM	COLD WATER METERS
DP	DOWNPIPE
FR	REFRIGERATOR LOCATION
F1	FENCE 1000mm HIGH METAL PICKET
F2	FENCE 1800mm HIGH LAPPED & CAPPE
F3	SLATTED METAL FENCE 1500 HIGH UNL
	NOTED OTHERWISE
FB1	FACE BRICK WORK TYPE 1
FB2	FACE BRICK WORK TYPE 2
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FG	FIXED GLASS
GR	GATE
HR	HANDRAIL
HWU	HOT WATER UNIT
LB	LETTERBOXES - RECESSED INTO WALL
L	LINEN CUPBOARD
LV	LOUVER WINDOW
P	PANTRY
PCC	PREFORMED COLORBOND CAPPING
PC1	PRECAST/FC COMPOSITE PANEL
PWT1	PREFINISHED MANUFACTURED TIMBER
POTS	PRIVATE OPEN SPACE
PP	POWER POLE
PS	PRIVACY SCREEN 1500mm HIGH METAL
RL	RELATIVE LEVEL
R	WARDROBE
RWT	RAINWATER TANK
SWP	STORMWATER PIT
	LAUNDRY TUB
TOW	TOP OF WALL
USTU	U/G STORMWATER TREATMENT UNIT
V	VANITY
VC	TOILET SUITE
WM	WASHING MACHINE
WO	WALL OVEN

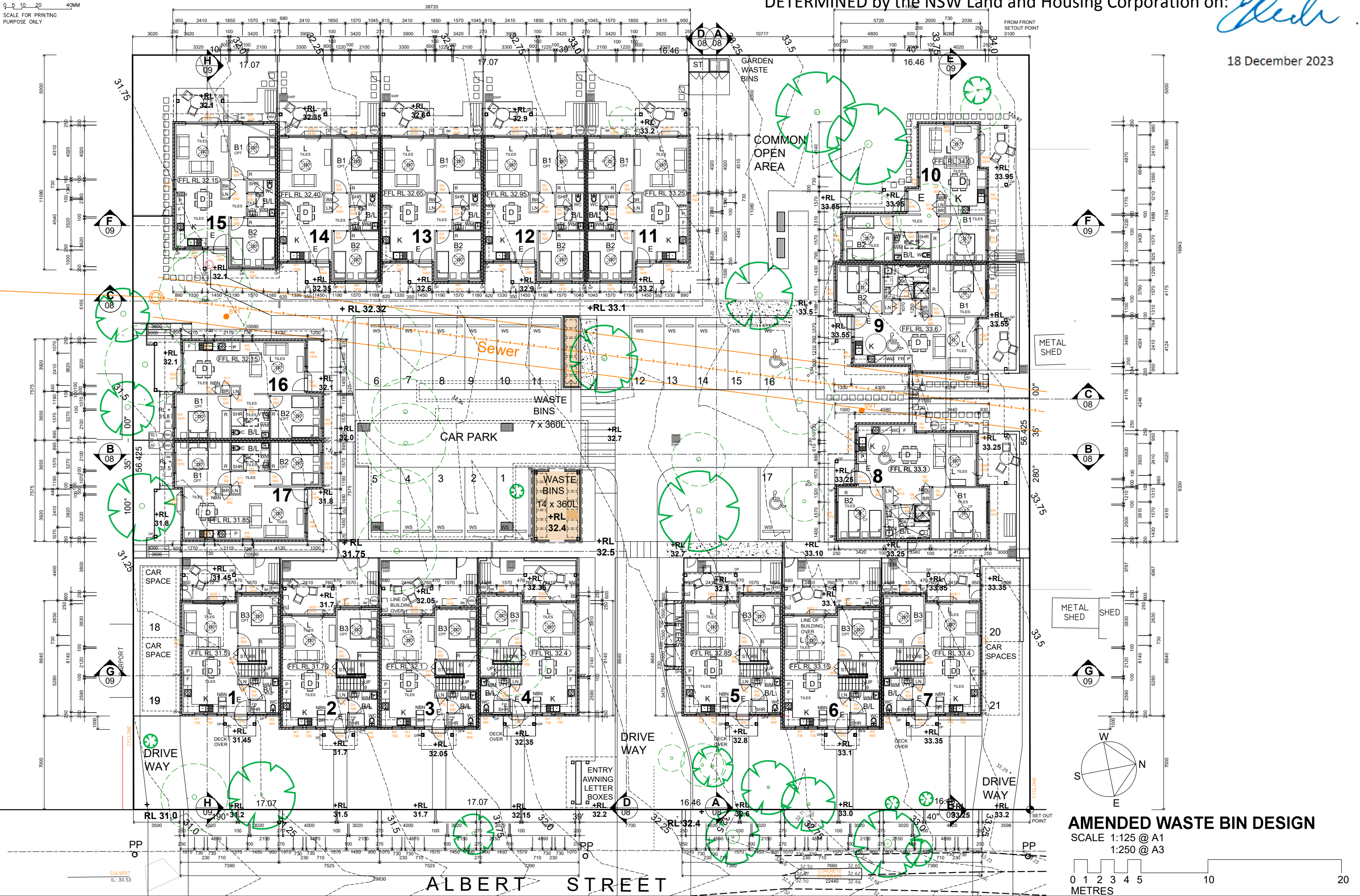
NOTE: PROVIDE DISH DRAINS TO DRIVEWAYS WHERE REQUIRED IN ACCORDANCE WITH COUNCIL REQUIREMENTS AND ENGINEER'S DETAILS

10 x 2 BED VILLA
1 STOREY

7 x 3 BED T/HOUSE
2 STOREY

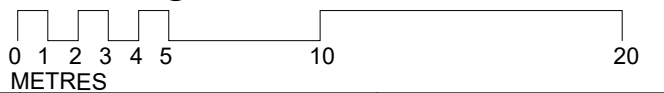
A step function graph on a horizontal axis labeled "METRES". The axis has tick marks at 0, 1, 2, 3, 4, 5, 10, and 20. The function is defined as follows: it has a value of 1 from 0 to 1, 2 from 1 to 2, 3 from 2 to 3, 4 from 3 to 4, 5 from 4 to 5, and 10 from 5 to 20. The function is zero for $x > 20$.

TITLE: SITE PLAN		STATUS: DA	
DATE: 27/04/23		SCALE: 1:125 / 1:250	PROJ: -
STAGE: MB		DRAWING: BR	PROJECT NO. BGZD3
PLOTED: 27/04/2023 1:47 PM		TYPE: A	REVISIONS: BR
FILE: SK17BR Albert St Casino.dwg		SHEET: A03	REV: -

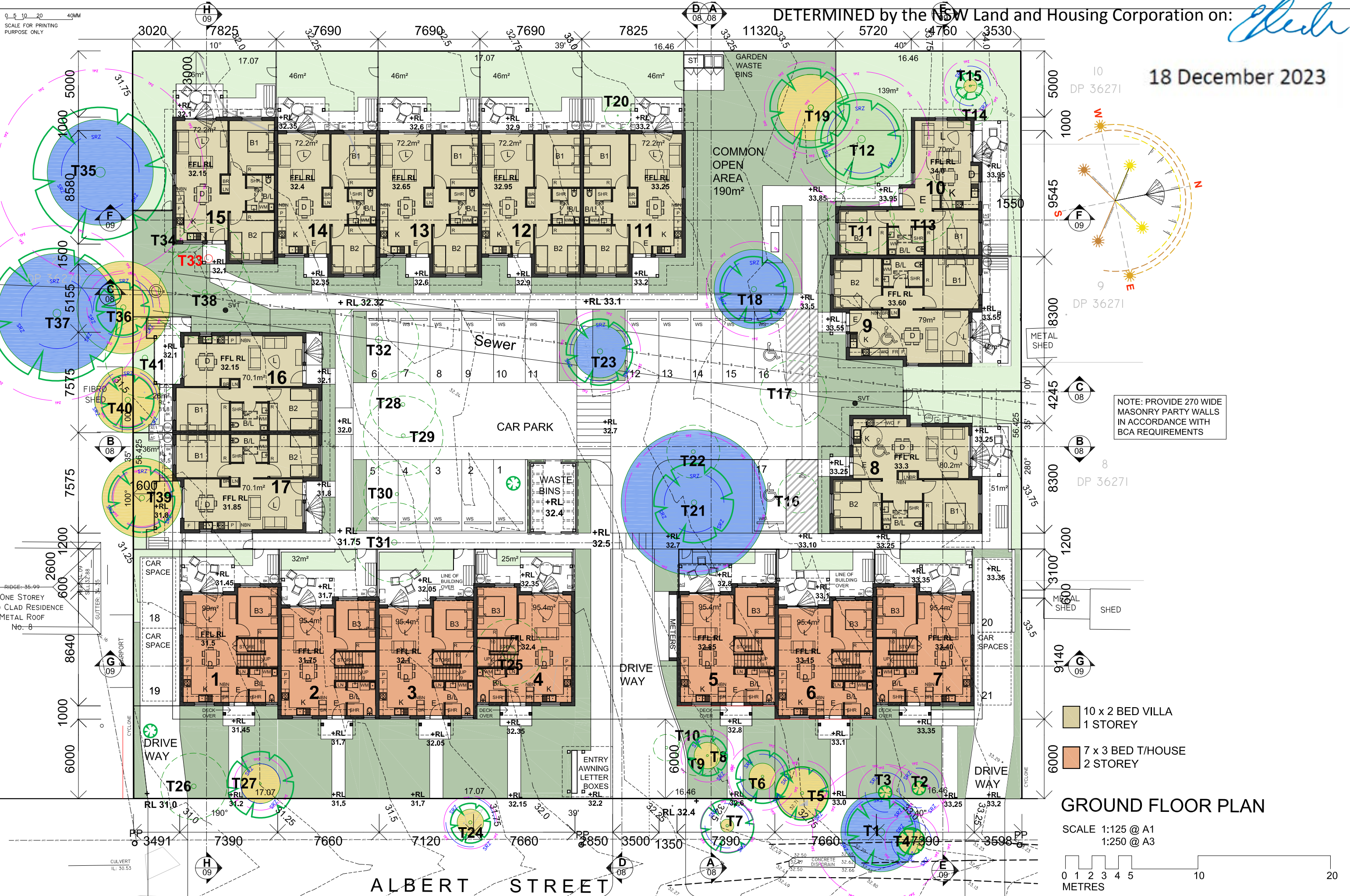


AMENDED WASTE BIN DESIGN

SCALE 1:125 @ A1
1:250 @ A3

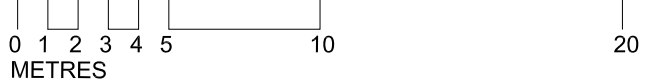




 <div>LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE No 1800 738 718 https://www.dpie.nsw.gov.au/land-and-housing-corporation</div>	 <div>Barry Rush & Associates Pty Ltd Architects. Nominated Architect: Barry John Rush ARB Registration No 3753 Suite 25A, 2 Beattie Street, Balmain, NSW Phone: (02) 9555 8028 Email: info@barryrush.com.au www.barryrush.com.au</div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div>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GROUND FLOOR PLAN

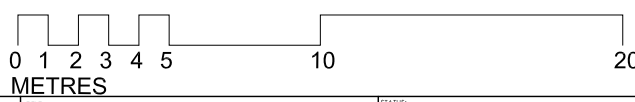
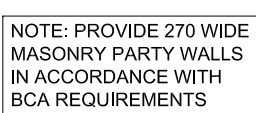
SCALE 1:125 @ A1
1:250 @ A3



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Nominated Architect: Barry John Rush ARB Registration No 3753 Suite 25A, 2 Beattie Street, Balmah, NSW Phone: (02) 9555 9028 Email: info@barryrush.com.au www.barryrush.com.au</div>	<div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> 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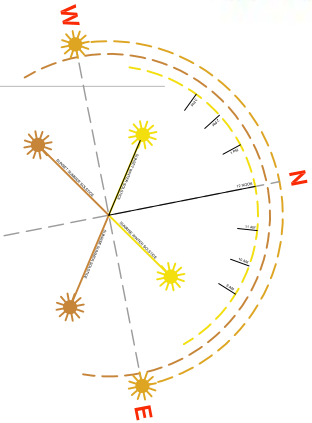
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DP 36271



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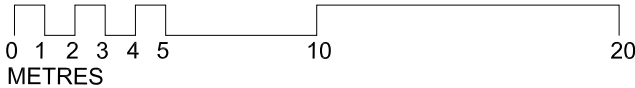
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DP 36271

18 December 2023



ROOF PLAN

SCALE 1:125 @ A1
1:250 @ A3



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PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dple.nsw.gov.au/land-and-housing-corporation>



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REV	DATE	NOTATION/AMENDMENT

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ELECTRICAL CONSULTANT
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BUSINESS PARTNER:
ERBAS AND ASSOCIATES PTY LTD
PH (02) 9437 1022

PROJECT:
**HOUSING DEVELOPMENT
10-16 ALBERT STREET
CASINO, NSW
LOTS 22, 23, 24 & 25 in DP 36270**

TITLE:
ROOF PLAN
FILE:
SK17BR Albert St Casino.dwg

DATE:
27/04/23
STAGE:
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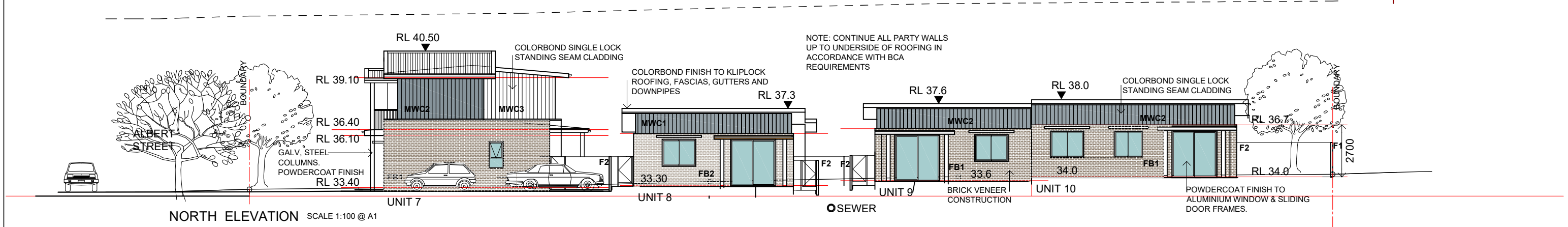
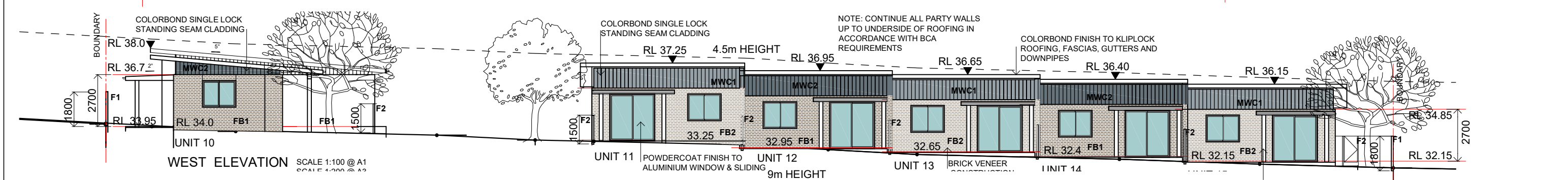
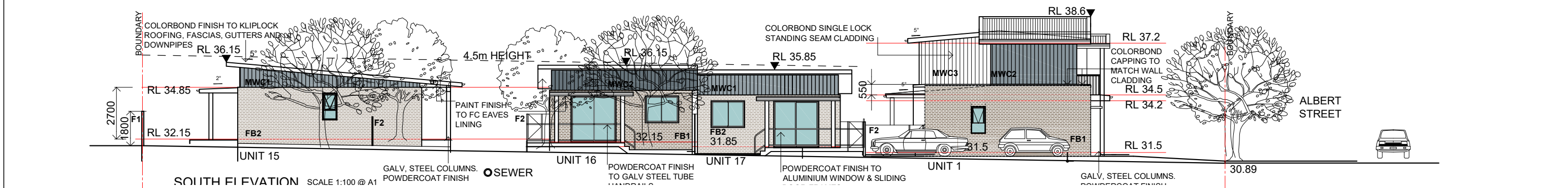
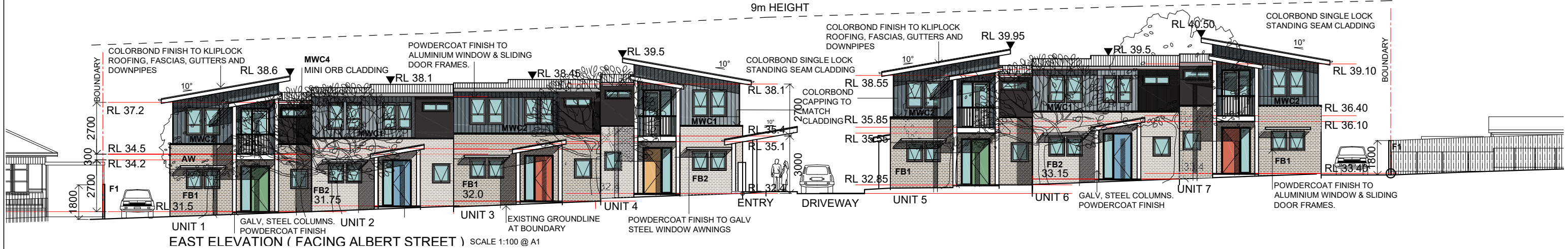
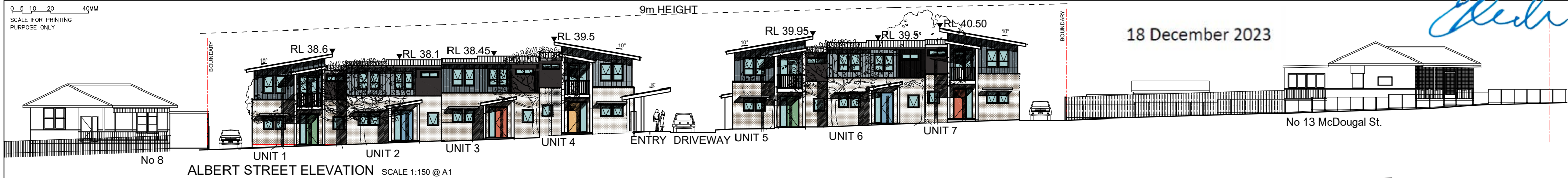
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PROJECT No:
BGZDZ
NOMINATED ARCHITECT:
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REV:
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18 December 2023

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BUSINESS PARTNER:

PROJECT:
HOUSING DEVELOPMENT
10-16 ALBERT STREET
CASINO, NSW
LOTS 22, 23, 24 & 25 in DP 36270

TITLE:
ELEVATIONS

DATE:
27/04/23
SCALE:
1:100 / 1:150
STAGE:
DRAWN:
MB
CHECKED:
BR
FILE:
SK17BR Albert St Casino.dwg
PLOTED:
27/04/2023 1:47 PM

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DATE: 27/04/23	CHECKED: BR
SCALE: 1:100 / 1:150	REV: -
DRAWN: MB	
SHEET: A	
	A07

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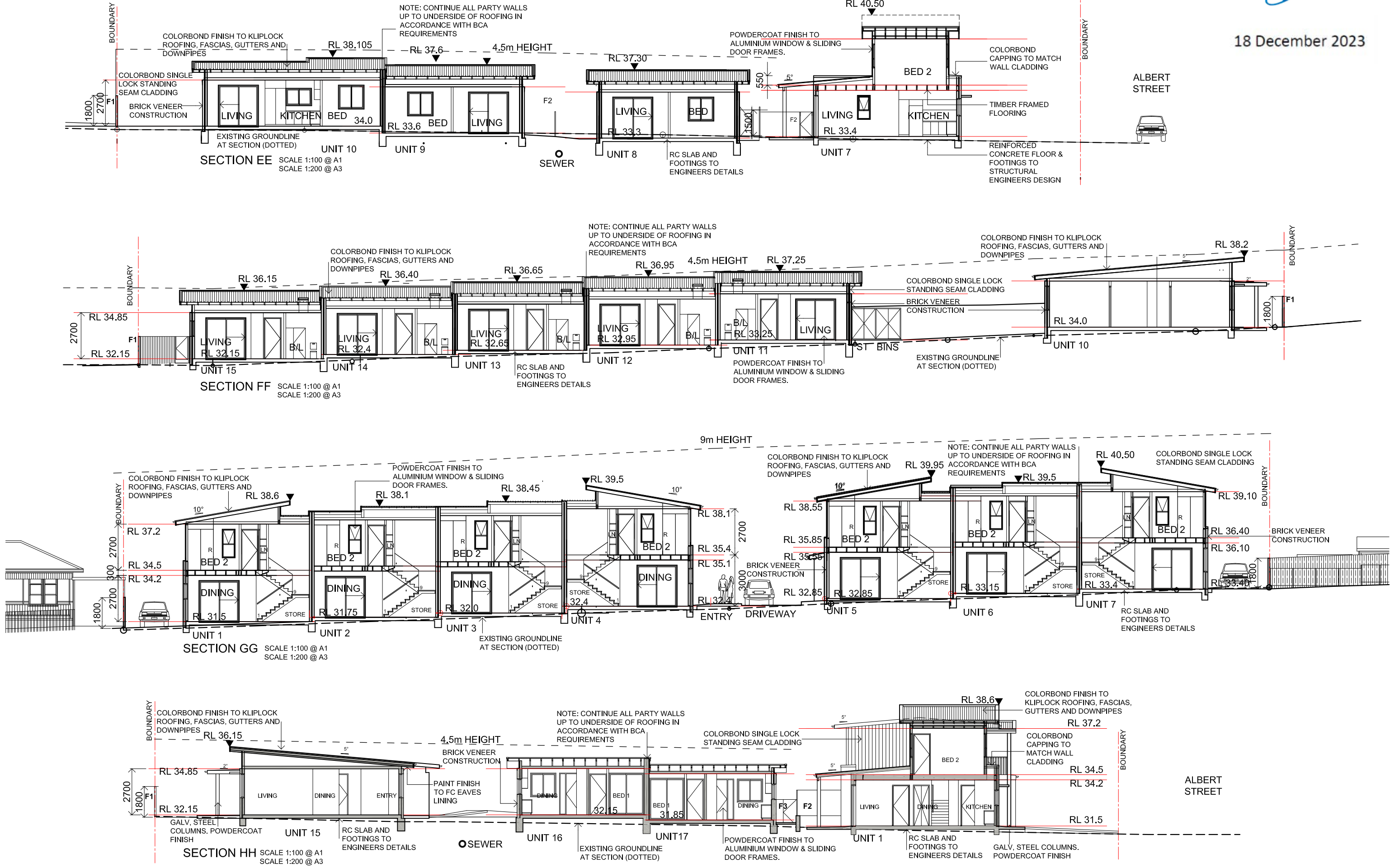
PROJECT:
HOUSING DEVELOPMENT
10-16 ALBERT STREET
CASINO, NSW
LOTS 22, 23, 24 & 25 in DP 36270

TITLE:
**SECTIONS
A-A, B-B, C-C & D-D**

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SK17BR Albert St Casino.dwg

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DATE 27/04/23	SCALE 1:100 / 1:200	PROJ. -	PROJECT No. BGDZD
STAGE	DRAWN MB	CHECKED BR	NOMINATED ARCHITECT <i>BR</i>
TYPE A	SHEET A08	REV. -	





Unit Number	CFA	UnCFA	Heating Load	Cooling Load	Total Load	Stars
1	89	11	15.6	35.6	51.2	7.1
2	89	11	8.2	31.1	39.3	7.9
3	89	11	5.8	30.4	36.2	8.1
4	89	11	11.2	37.3	48.5	7.2
5	89	11	15.7	35.1	50.8	7.1
6	89	11	6.8	29.9	36.7	8.1
7	89	11	11.5	36.0	47.5	7.3
8	79	0	10.8	22.2	33.0	8.4
9	76	0	4.7	16.3	21.0	9.3
10	68	0	5.9	36.5	42.4	7.7
11	72	0	3.8	26.0	29.8	8.6
12	72	0	3.1	22.1	25.2	8.9
13	72	0	3.4	22.2	25.6	8.9
14	72	0	3.5	21.7	25.2	8.9
15	72	0	9.8	27.4	37.2	8.1
16	70	0	7.8	34.9	42.7	7.7
17	70	0	10.7	24.6	35.3	8.2
AVG					8.1	

10-16 Albert Street Casino					
SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT					
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au					
WATER COMMITMENTS					
Fixtures					
3 Star Shower Heads	Yes (> 4.5 but <= 6 L/min)				
5 Star Kitchen / Basin Taps	Yes	4 Star Toilet	Yes		
Common Alternative Water					
Minimum Tank Size (L)	9000	Collected from Roof Area (m2)	800		
Tank Connected To:					
One Common Outdoor Tap	Yes				
One Outdoor Tap to each unit	Yes				
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans					
ENERGY COMMITMENTS					
Hot Water	Electric Heat Pump 31 to 35 STCs				
Cooling System	Living	None			
	Bedrooms	None			
Heating System	Living	None			
	Bedrooms	None			
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off		
	Kitchen	Fan ducted to exterior	Manual on/off		
	Laundry	Fan ducted to exterior	Manual on/off		
Natural Lighting	Window/Skylight in Kitchen		As drawn		
	Window/Skylight in Bathrooms/Toilets		As drawn		
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms		All	Dedicated	Yes
	Number of Living/Dining rooms		All	Dedicated	Yes
	Kitchen		Yes	Dedicated	Yes
	All Bathrms/Toilets		Yes	Dedicated	Yes
	Laundry		Yes	Dedicated	Yes
	All Hallways		Yes	Dedicated	Yes
OTHER COMMITMENTS					
Outdoor clothes line	Yes	Ventilated refrigerator space			Yes
Stove/Oven	Induction cooktop & electric oven				
Alternative Energy	n/a				

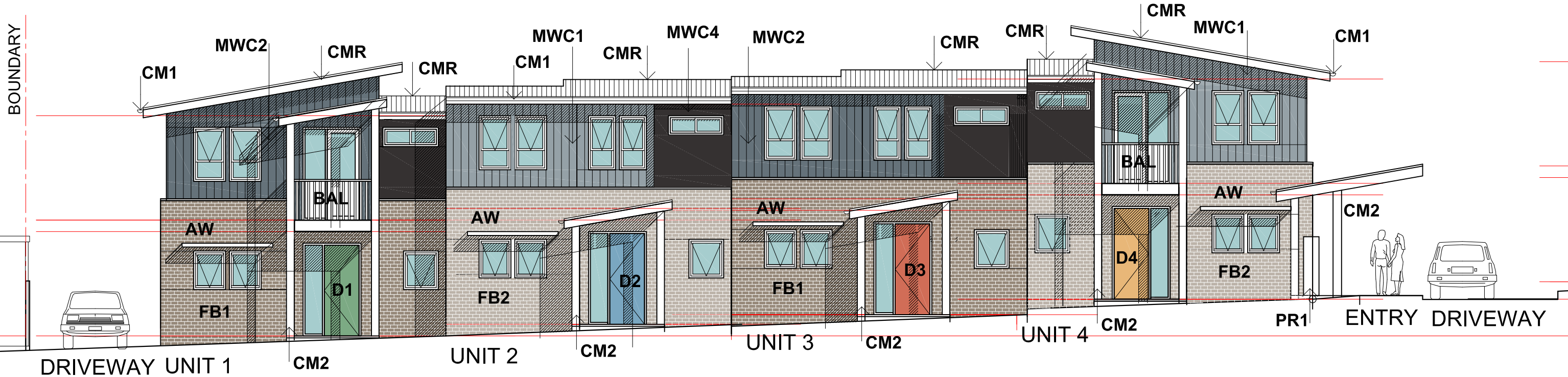
May 2023	BSA Reference: 19506		
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.			
In NSW both BASIX & the BCA variations must be complied with, in particular the following:			
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1			
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)			
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(ii), (iii) & (e) or (c), (d) & (e)			
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
Brick Veneer & Lightweight		R2.0	
Internal Wall Construction		Added Insulation	
Plasterboard on studs		None	
Cavity Brick (Party walls)		None	
Ceiling Construction		Added Insulation	
Plasterboard		R3.5 to ceilings adjacent to roof space	
Roof Construction		Colour (Solar Absorption)	
Metal		Basalt (SA0.69)	
		Foil + R1.0 blanket	
Floor Construction		Covering	
Concrete		As drawn (if not noted default values used)	
Timber		As drawn (if not noted default values used)	
Windows		Glass and frame type	U value SHGC Range Area sq m
ALM-001-03 A		Aluminium Type A Single Low-e	5.40 0.44 - 0.54 Unit 1 & 5 Only
ALM-002-03 A		Aluminium Type B Single Low-e	5.40 0.52 - 0.64 Unit 1 & 5 Only
ALM-001-01 A		Aluminium Type A Single clear	6.70 0.51 - 0.63 All other units
ALM-002-01 A		Aluminium Type B Single clear	6.70 0.63 - 0.77 All other units
Type A windows are awning windows, bifolds, casements, tilt 'n' turn' windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
Skylights		Glass and frame type	U SHGC Area sq m Detail
Single glazed as drawn			
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified			
Shade elements		(eaves, verandahs, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA			
Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.			
Additional Notes			
Ceiling fans to all bedrooms and living areas			

DEVELOPMENT DATA

Job Reference	BGZDZ
Locality / Suburb	Casino
Street Address	10-16 Albert Sreet
Lot & DP	Lots 22-25 in DP 36270
Site Area	3784 m² by title
Existing Lots	4
Proposed GFA	1,501 m²
No. of Dwellings	10 x 2 Bed + 7 x 3 Bed = 17 Dwellings

	Control	Requirement	Proposed
HEIGHT	Richmond Valley Council LEP Housing SEPP LRHDG Rear 40% of Site	8.5m 9.0m 4.5m	6.3m to ceiling 7.8m to top of roof rear 40% of site < 4.5m
FSR	Richmond Valley Coast DCP	0.8:1 (3027.2m²)	0.37:1 (1,501m²)
LOT SIZE & WIDTH	Richmond Valley Coast DCP	Site 1000 m² Width 20m	Site 3,784m² Width 67m
SETBACKS	Richmond Valley Coast DCP multi - dwelling	Front Setback 6.0m	6.0m MIN
	LRHDG	Side Setback = H - 3m	3-3.4m to buildings 1.6m to side awnings
	LRHDG	Rear Setback = 6m	5-6m Impacted by existing sewer & trees
PARKING	Housing SEPP non -accessible site	1 x(no. 2 Beds) = 10 1.5 x (no. 3 Beds) = 10.5	21 car spaces
BICYCLE PARKING	LRHDG	1 space per Dwelling	Bicycles to be in POS areas
POS Private open space	LAHC Dwelling Requirements	Dwellings at ground floor 15m²	All POS > 25m²
	Richmond Valley Coast DCP multi - dwelling	1+2 bed Dwelling = 16m² 3 bed Dwelling = 25m²	All POS > 25m²
LANDSCAPING	Richmond Valley Coast DCP multi - dwelling	20% of site area = 756 m²	1,193m²
SOLAR ACCESS	LAHC / ADG Solar Guidelines	3 hrs to 70% of Dwellings in Mid-Winter = 11.9	17 =100%

DWELLINGS						SOLAR ACCESS	
	Number	Type*	Beds	Area* (m²)	POS*	LIVING	POS
	1	T/H	3	99.0	21	4hr	4 hr
	2	T/H	3	99.0	29	4 hr	4 hr
	3	T/H	3	99.0	20	4 hr	5 hr
	4	T/H	3	99.0	21	6 hr	6 hr
	5	T/H	3	99.0	21	4 hr	5 hr
	6	T/H	3	99.0	29	4 hr	4 hr
	7	T/H	3	99.0	21.4	6 hr	6 hr
	8	VILLA	2	80.2	51	6 hr	6 hr
	9	VILLA	2	79	42	6 hr	6 hr
	10	VILLA	2	70	139	6 hr	6 hr
	11	VILLA	2	72.2	46	4 hr	5 hr
	12	VILLA	2	72.2	46	4 hr	5 hr
	13	VILLA	2	72.2	46	4 hr	5 hr
	14	VILLA	2	72.2	46	4 hr	5 hr
	15	VILLA	2	72.2	76	4 hr	5 hr
	16	VILLA	2	70.1	26	6 hr	2 hr
	17	VILLA	2	70.1	36	6 hr	2 hr



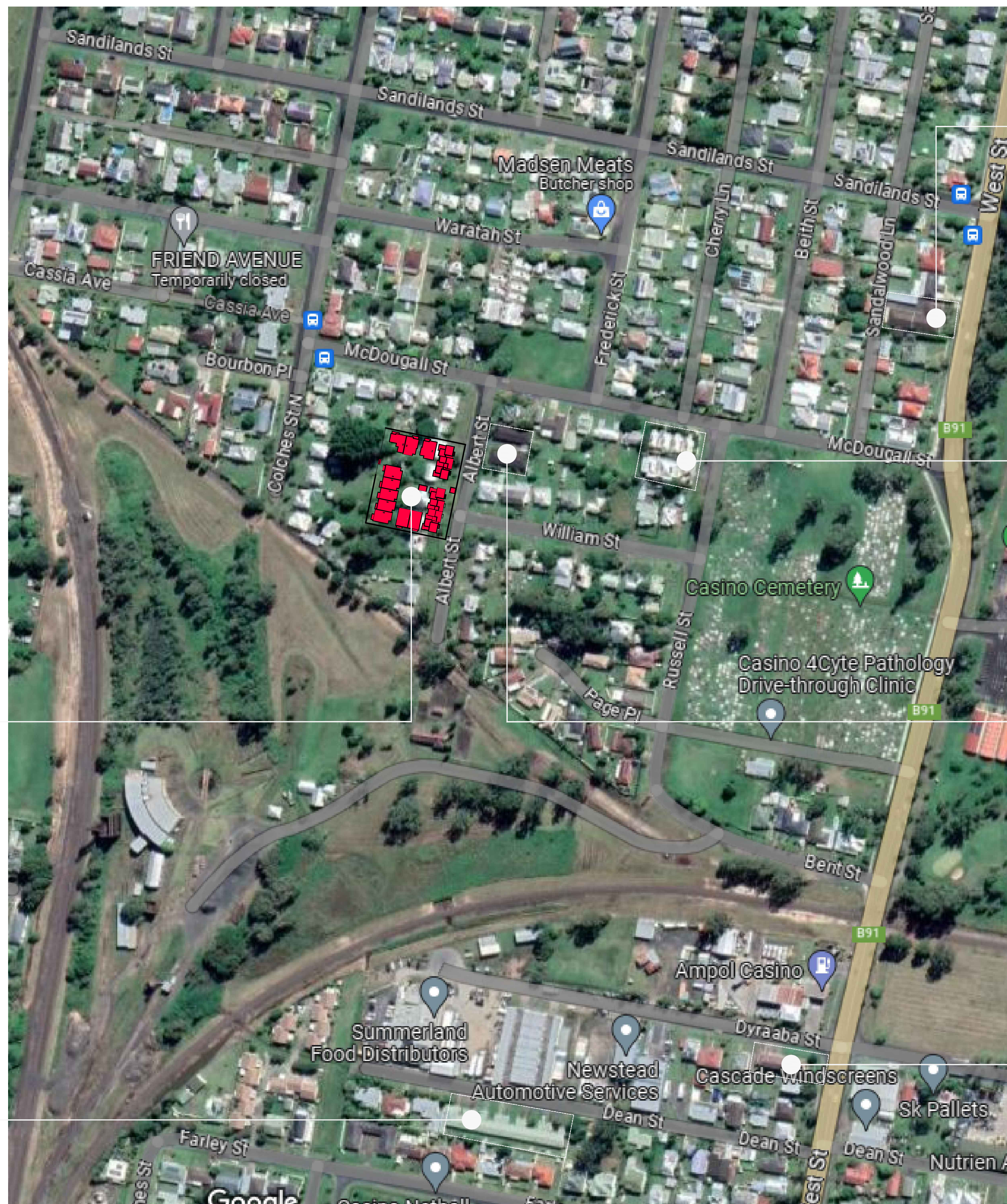
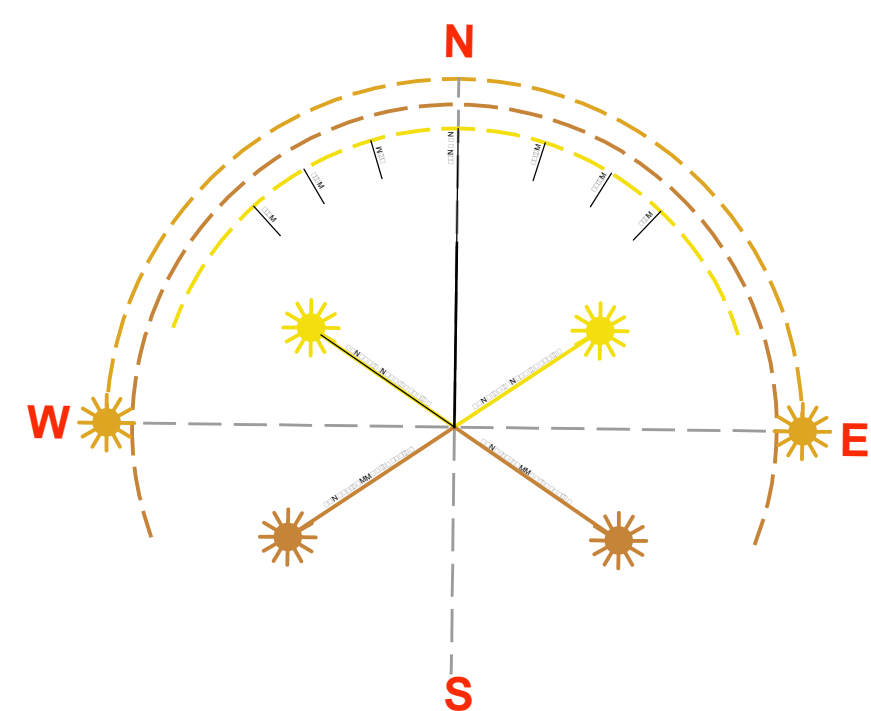
EAST ELEVATION (FACING ALBERT STREET)

FINISHES SCHEDULE

CODE	LOCATION		DESCRIPTION	COLOUR
CMR	ROOFING/ FLASHINGS, CAPPINGS, BARGES, FASCIA		KLIP-LOK HI-STRENGTH COLORBOND STEEL	COLORBOND "BASALT"
CM1	GUTTER, DOWNPIPES		METAL COLORBOND & GALV STEEL	COLORBOND "WINDSPRAY"
CM2	METAL STRUCTURE, BEAMS, COLUMNS TO ENTRY'S & REAR AWNINGS		METAL POWDERCOAT TO GALV STEEL	COLORBOND "SURFMIST"
MWC1	FIRST FLOOR METAL WALL CLADDING		COLORBOND SINGLE LOCK STANDING SEAM CLADDING 325mm WIDE	COLORBOND "BASALT"
MWC2	FIRST FLOOR METAL WALL CLADDING		COLORBOND SINGLE LOCK STANDING SEAM CLADDING 325mm WIDE	COLORBOND "MONUMENT"
MWC3	FIRST FLOOR METAL WALL CLADDING		COLORBOND SINGLE LOCK STANDING SEAM CLADDING 325mm WIDE	COLORBOND "DUNE"
MWC4	METAL WALL CLADDING		COLORBOND STEEL "MINI ORB" VERTICAL	COLORBOND "NIGHT SKY"

CODE	LOCATION		DESCRIPTION	COLOUR
FB1	GROUND FLOOR WALLS UNITS 1,3,5,7,9,10,12,14,16		FACE BRICK PGH WIRE CUT	MINERAL VELOUR
FB2	GROUND FLOOR WALLS UNITS 2,4,6,8,11,13,15,17		FACE BRICK PGH WIRE CUT	CRUSHED GREY PURE VELVET
FB3	RETAINING WALLS		FACE BRICK PGH WIRE CUT	VOLCANIC VELOUR
PR1	LETTERBOX WALL		PAINTED RENDER TO BRICK WALL	DULUX BASALT
LB	LETTERBOXES RECESSED INTO WALL		POLISHED ALUMINIUM	NATURAL
BAL	FIRST FLOOR BALCONY BALUSTRADES		POWDERCOAT TO GALVANIZED STEEL	DULUX BASALT
AW	WINDOW AWNINGS		POWDERCOAT TO GALVANIZED STEEL	COLORBOND "BASALT"

CODE	LOCATION		DESCRIPTION	COLOUR
F1	METAL FENCES TO SITE BOUNDARIES		1800 HIGH (UNLESS NOTED OTHERWISE) COLORBOND METAL FENCE	COLORBOND WALLABY
F2	SLATTED METAL FENCES TO POS AREAS		1500 HIGH (UNLESS NOTED OTHERWISE) COLORBOND METAL FENCE	COLORBOND WINDSPRAY
F3	VERTICAL SLATTED METAL FENCES TO REAR POS FACING CENTRAL COURTYARD		1500 HIGH (UNLESS NOTED OTHERWISE) POWDERCOAT STEEL METAL FENCE TO DETAIL	DULUX WINDSPRAY
F4	METAL FENCES TO WASTE BIN AREA		1500 HIGH POWDERCOAT STEEL METAL FENCE TO DETAIL	DULUX MONUMENT
W D	WINDOWS & DOOR FRAMING		POWDERCOATED ALUMINIUM	DULUX MONUMENT
D1	FRONT DOOR UNITS 1,5,9,13,17		PAINT TO EXT. SOLID CORE DOOR	WATTYL "PEE POD"
D2	FRONT DOOR UNITS 2,6,10,14		PAINT TO EXT. SOLID CORE DOOR	WATTYL "DUCK BLUE"
D3	FRONT DOOR UNITS 3,7,11,15		PAINT TO EXT. SOLID CORE DOOR	WATTYL "ORANGE"
D4	FRONT DOOR UNITS 4,8,12,16		PAINT TO EXT. SOLID CORE DOOR	WATTYL "MANGO"



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REV DATE NOTATION/AMENDMENT

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.

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	BUSINESS PARTNER
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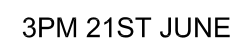
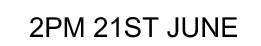
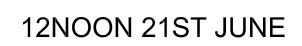
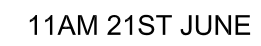
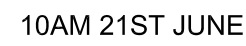
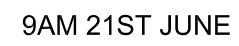
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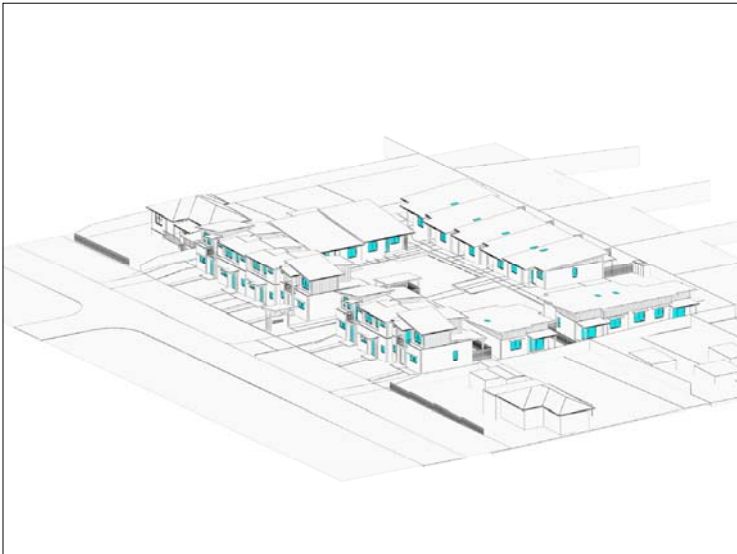
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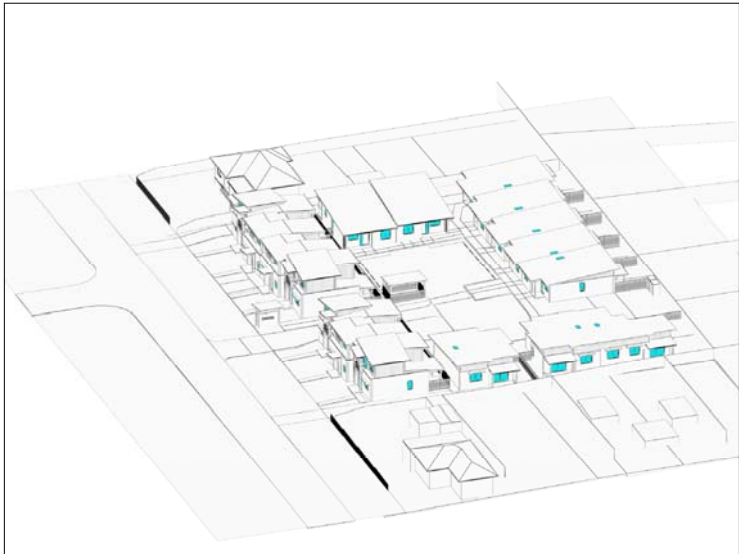
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18 December 2023



9AM 21ST JUNE



10AM 21ST JUNE



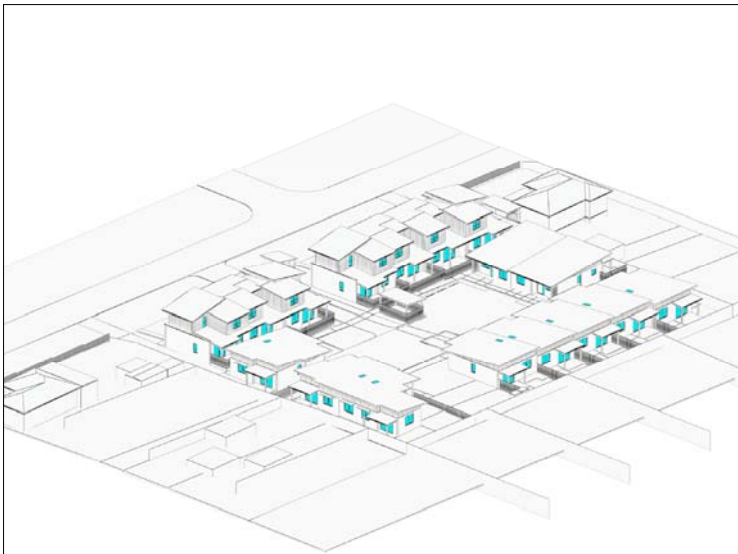
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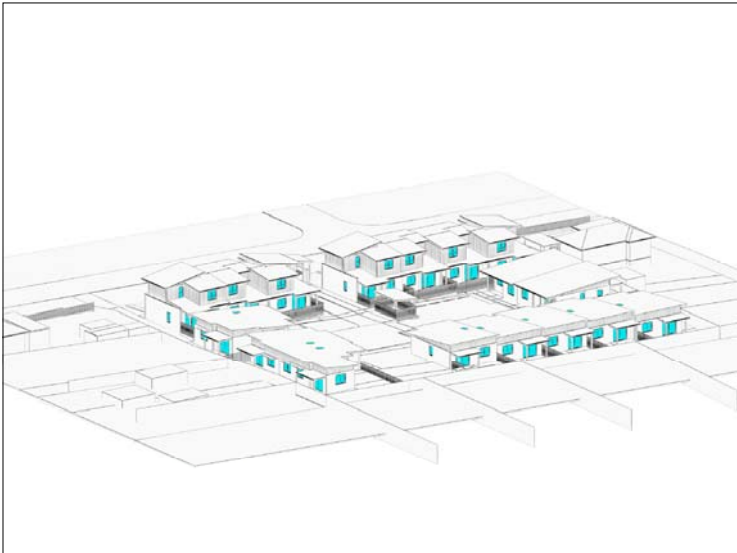
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1PM 21ST JUNE



2PM 21ST JUNE



3PM 21ST JUNE



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REV	DATE	NOTATION/AMENDMENT

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FIGURED DIMENSIONS TAKE PRECEDENCE.

ARCHITECT BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 8028	STRUCTURAL CONSULTANT
PROJECT MANAGER LAND & HOUSING CORPORATION PH (02) 8753 9000	CIVIL & HYDRAULIC CONSULTANT ERBAS AND ASSOCIATES PTY LTD PH (02) 9437 1022
LANDSCAPE CONSULTANT GREENLAND DESIGN PTY LTD PH (0603) 184 198	ELECTRICAL CONSULTANT ERBAS AND ASSOCIATES PTY LTD PH (02) 9437 1022

BUSINESS PARTNER:
PROJECT: HOUSING DEVELOPMENT 10-16 ALBERT STREET CASINO, NSW LOTS 22, 23, 24 & 25 in DP 36270

TITLE: VIEWS FROM SUN - MID WINTER
FILE: DA11 - 16 Albert St Casino.dwg

DATE: 27/04/23	SCALE: NTS	PROJ: -	PROJECT No: BGZDZ
STAGE: LP	DRAWN: LP	CHECKED: BR	NOMINATED ARCHITECT: <i>BR</i>
TYPE: A	SHEET: A14	REV: -	

STATUS: DA			
DATE: 27/04/23	SCALE: NTS	PROJ: -	PROJECT NO: BGZDZ
STAGE:	DRAWN: LP	CHECKED: BR	NOMINATED ARCHITECT: BR
TYPE: A	SHEET: A14	REV: -	

DETERMINED by the NSW Land and Housing Corporation on:  .


18 December 2023



XXXXXXXXXXXXXXXXXXXX



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dpie.nsw.gov.au/land-and-housing-corporation>



Barry Rush & Associates Pty Ltd
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REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

XXXXXXXXXXXXXXXXXXXX
PH (02) 9555 8028

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PH (02) 8753 9000

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PH (0403) 164 198

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PH (02) 9437 1022

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PH (02) 9437 1022

BUSINESS PARTNER:

PROJECT:
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
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TITLE:
XXXXXXXXXXXXXXXXXXXX

FILE:
XXXXXXXXXXXXXXXXXXXX

PLOTTED:
XXXXXXXXXXXXXXXXXXXX

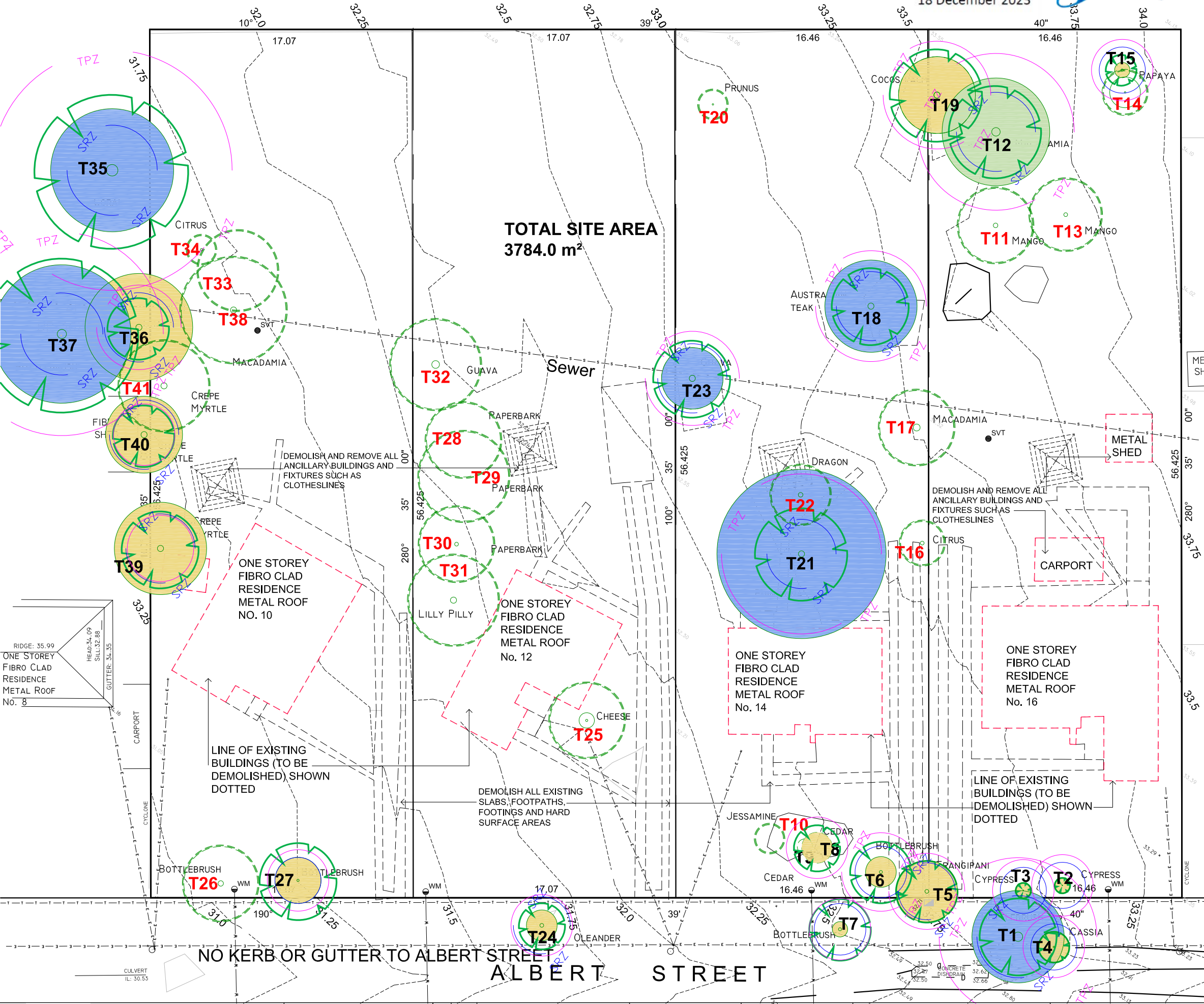
STATUS: DA		PROJECT NO: XXXXXX	
DATE: XXXXXX	SCALE: NTS	PROJ: <input type="checkbox"/>	NON-SCALE ARCHITECT
STAGE: XX	DRAWN: XX	CHECKED: XX	REV: <input type="checkbox"/>
TYPE: <input type="checkbox"/>		SHEET: A15	

18 December 2023

Chen

DEMOLITION NOTES:

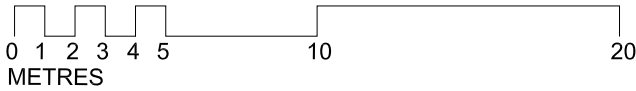
1. ALL DEMOLITION TO AUSTRALIAN STANDARD AS2601-2001 DEMOLITION OF STRUCTURES.
2. DEMOLISH ALL EXISTING DWELLINGS, SHEDS, CARPORTS, GARAGES, STEPS, RAMPS, RETAINING WALLS, SLABS, FOOTPATHS & FOOTINGS, HARD SURFACE AREAS, FENCES, RAILINGS, PLANTER BOXES, TURF, LETTERBOXES, BBQs, CLOTHES HOISTS, AC UNITS, HOT WATER UNITS & METER BOARDS & REMOVE FROM SITE.
3. SORT MATERIALS FOR POTENTIAL TO RECYCLE OR RE-USE ON-SITE.
4. DISCONNECT AND REMOVE EXISTING SERVICE LINES AS REQUIRED.
5. REMOVE EXISTING TREES & SHRUBS ON SITE INCLUDING STUMP GRINDING & GRUBBING (SHOWN DASHED).
6. ASBESTOS IS TO BE REMOVED FROM EXISTING DWELLINGS PRIOR TO DEMOLITION COMMENCEMENT. A CERTIFICATE IS TO BE SUBMITTED BY A HYGIENIST CONFIRMING THAT ALL ASBESTOS HAS BEEN REMOVED PRIOR TO DEMOLITION, ANOTHER CERTIFICATE IS TO BE SUBMITTED ON COMPLETION OF DEMOLITION.
7. REMOVE AND MAKE GOOD TO REDUNDANT DRIVEWAYS AND CROSSOVERS, REPLACE WITH KERB AND GUTTER, MAKE GOOD TO KERB AND GUTTER WHERE REQUIRED.
8. REMOVAL OF ANY SURFACE BUILDING DEBRIS LEFT BEHIND BY DEMOLITION CONTRACTOR IS TO BE REMOVED, THIS INCLUDES CONCRETE, MASONRY AND ASBESTOS PARTICLES.



- T35 TREE NUMBER. REFER TO ARBORIST REPORT
- T38 TREE TO BE REMOVED
- T23 TREE TO BE RETAINED AND PROTECTED REFER ARBORIST REPORT

DEMOLITION PLAN

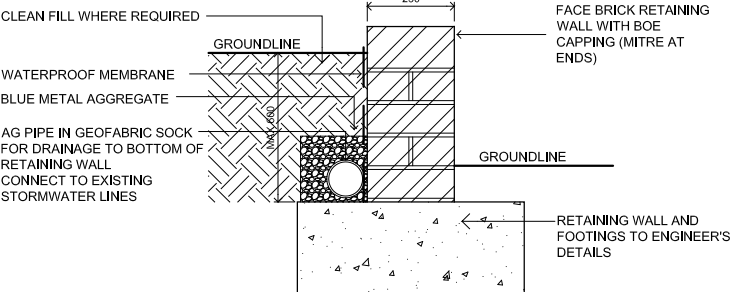
SCALE 1:125 @ A1
1:250 @ A3



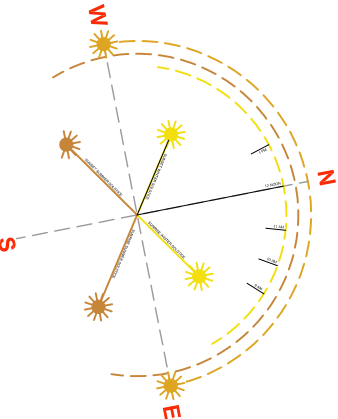
DETERMINED by the NSW Land and Housing Corporation on:

18 December 2023

Chen



RETAINING WALL DETAIL MAX 600 HIGH (RW1) SCALE 1:10

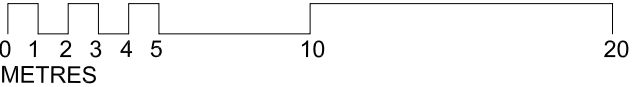


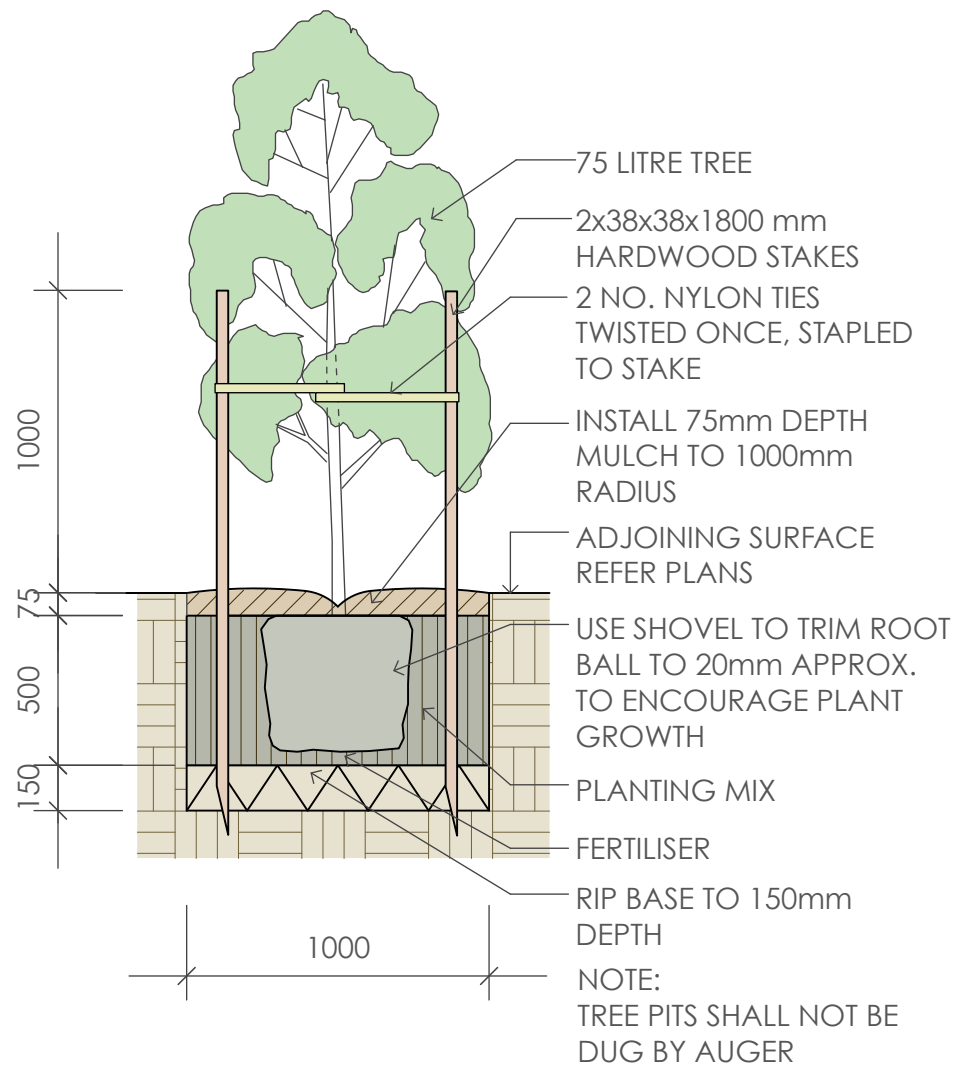
LEGEND

- AREA OF FILL < 200mm
- AREA OF FILL = 200 - 1000mm
- AREA OF EXCAVATION < 200mm
- AREA OF EXCAVATION = 200 - 1000mm
- RETAINING WALL

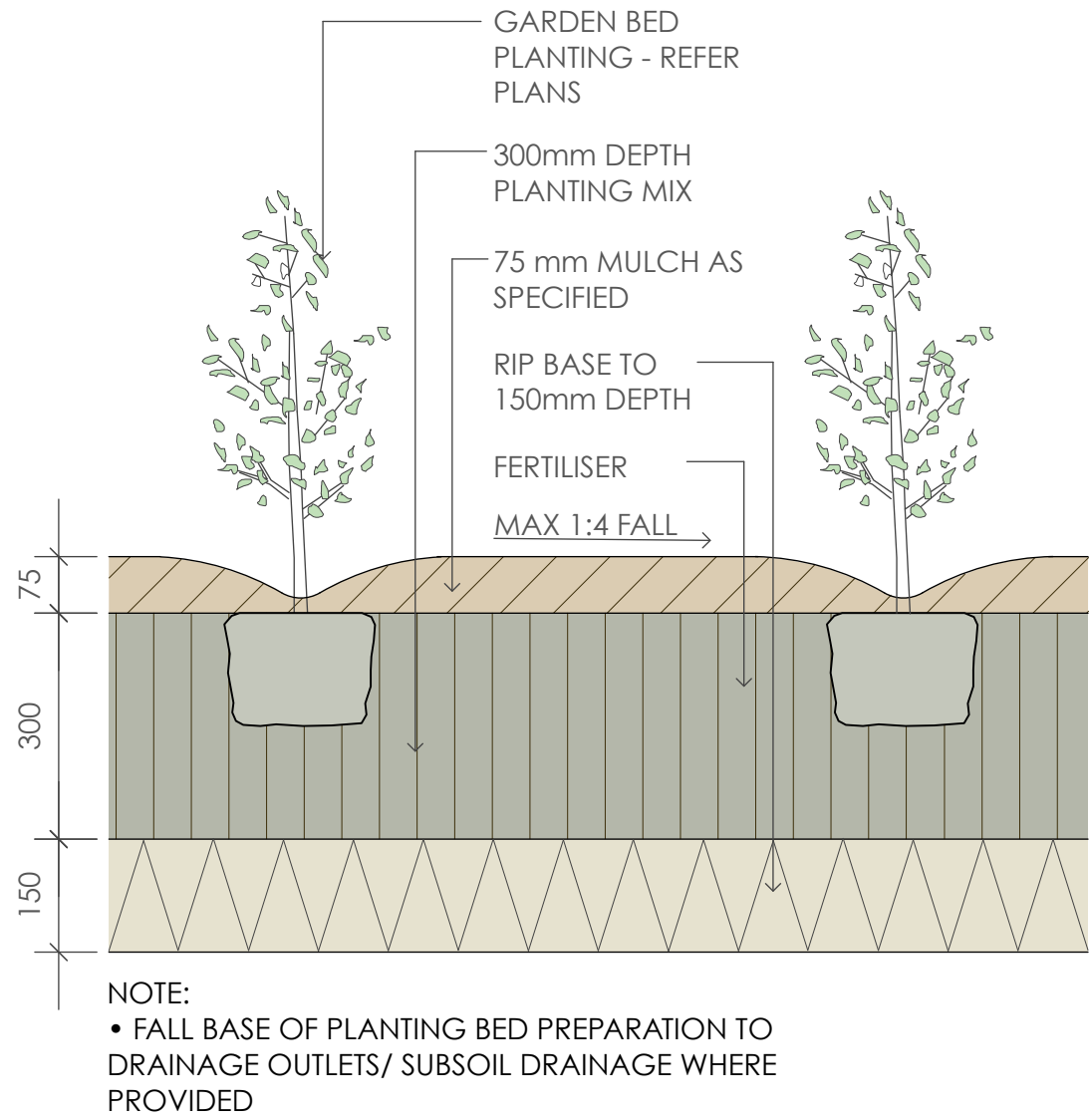
AREAS OF EXCAVATION & FILL

SCALE 1:125 @ A1
1:250 @ A3

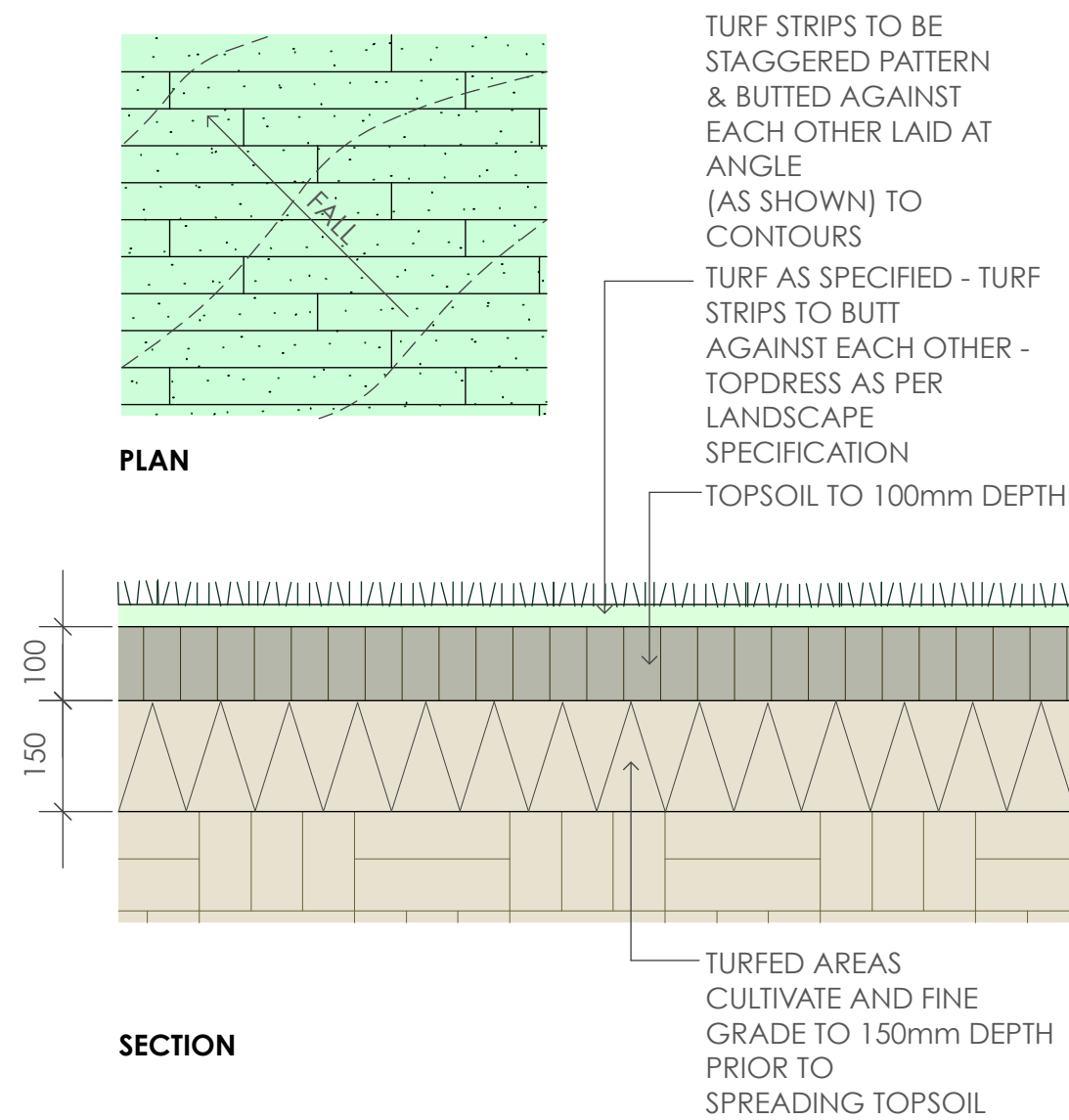




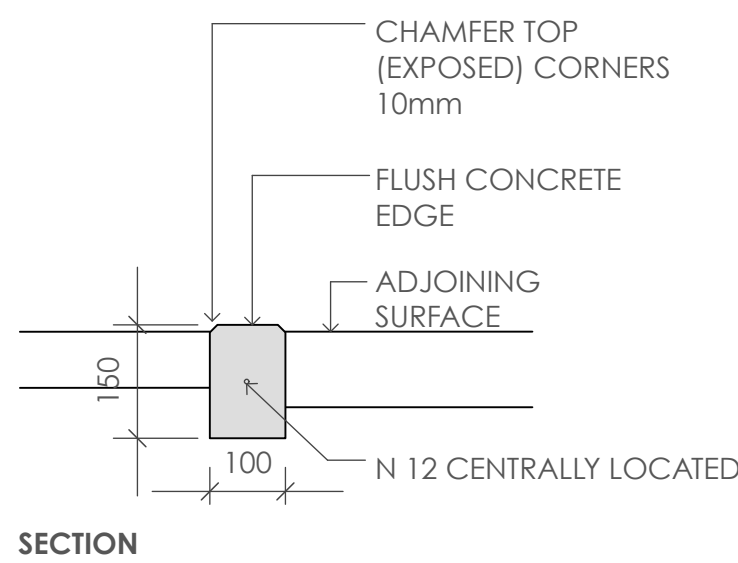
1 75 Litre Tree Planting
scale 1:25



2 Planting Bed Detail
scale 1:10



3 Turfing
scale as shown



4 Concrete Edge
scale 1:10

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:

Planting mix for tree pit backfill shall be "Organic Garden Mix" consisting of
50% Black Soil
20% Coarse Sand
30% Organic Material

as available from Australian Native Landscapes, Phone: [02] 9450 1444, or approved equivalent. Samples shall be provided to the Superintendent prior to ordering or delivery to site. Any material delivered to site, that is rejected by the Superintendent, shall be removed by the contractor at his own expense. Minimum depths of mix to all planting bed areas is as specified on details.

Mulch:

Mulch to garden bed:

Mulch shall mean hardwood mulch (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded hardwood mulch to be supplied by Australian Native Landscapes Pty Ltd Phone [02] 9450 1444, or approved equivalent.

Spread mulch so that after settling, it is:

- smooth and evenly graded between design surface levels;
- flush with adjacent finished levels;
- of the required depths (75mm); and
- sloped towards the base of plant stems in plantation beds, but not in contact with the stem (not closer than 50mm in the case of gravel mulches).

Place after the preparation of the planting bed, planting and all other work.

Plant Material:

All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound. Plants are available from **Andreasens Green** wholesale nursery, contact Darren (02) 8777 4713, email darren@andreasensgreen.com.au or approved equivalent.

PREPARATION AND HARDWORKS

Excavating for Spot Planting

To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Staking

Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

- 75 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

Porous Pavement

MATERIAL: Porous pavement shall be 115x230x80mm porous paving installed to manufacturers recommendations and specifications as available from Boral Pty Ltd (Ph 1300 134 002) or approved equivalent. Sample to be provided for approval by Superintendent.

Concrete Edge

MATERIALS: Concrete to be off white colour.
INSTALLATION: Supply and install 150 x 100mm (width) reinforced flush concrete kerb to locations as approved on site by the Superintendent. Provide flexible joints at maximum 3 metre intervals in colour to match concrete. Lightly expose aggregate through rinsing / sponging. Tool finish exposed edges with 10mm pencil round to prevent chipping.

MAINTENANCE / PLANT ESTABLISHMENT

Maintenance shall apply to all hard and soft landscape materials installed prior to the "handover" and acceptance by Principles Representative and the Site Superintendent. The maintenance period shall convenience at the granting of practical completion and shall extend for 12 months.

Maintenance shall consist of the following works:

- Follow a daily watering programme to be approved by Superintendent. Water all plants individually, twice per week or when necessary to ensure constant plant growth.
- Apply appropriate weed control sprays and hand weed as required to maintain planting areas, native grassing bed areas, paved areas, and tree pits in turf free of weed or rogue grass growth.
- Regularly tidy and top up mulch and trim edges to prevent spill over onto paved / grassed areas.
- Spray to control pests and diseases.
- Replace plants, which fail with plants of a similar size and quality as originally specified to approval of Superintendent. Costs of replacement shall be the responsibility of the Contractor. Replacement planting will be undertaken within 2 weeks of identification of dead material or instruction by the Superintendent.
- Report any incidence of plants stolen or destroyed by vandalism.
- Adjust stakes and ties to plants as necessary. Ensure that strangulation of plants does not occur.
- Prune and shape plants as directed or where necessary.
- Make good any defects or faults arising out of defective workmanship or materials.
- Make good any erosion or soil subsidence, which may occur including soft areas in pathways.
- A final inspection shall be made by the Superintendent before handover. Any items requiring rectification shall be repaired before the works are finally approved, and retention moneys released.

NOTE:

- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Council's landscape code and guidelines
- This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

Plant Schedule							
ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread	Native (N)
Trees							
BacMur	10	Grey Myrtle	Backhousia myrtifolia	75Litre	5 - 10m	3.5 - 6m	N
CalSpp	5	Bottlebrush	Callistemon spp.	75Litre	3 - 5m	2.0 - 3.5m	N
CorWil	4	Red Flowering Gum	Corymbia ficifolia 'Wildfire'	75Litre	3 - 6m	2.0 - 3.5m	N
ElaRet	5	Blueberry Ash	Elaeocarpus reticulatus	75Litre	8 - 10m	3 - 4m	N
TriLus	2	Water Gum	Tristanopsis laurina 'Luscious'	75Litre	6 - 8m	3.5 - 6m	N
Shrubs							
AcaGree	105	Green Mist	Acacia cognata 'Green Mist'	200mm	1.0 - 1.5m	0.8 - 1.0m	N
AcmChe	70	Cherry Surprise Lilly Pilly	Acmena 'Cherry Surprise'	200mm	3.0 - 5.0m	1.2 - 1.5m	N
AcmeRed	11	Red Head Lilly Pilly	Acmena smithii 'Red Head'	200mm	5 - 6m	3.0 - 4.0m	N
AcmFor	49	Forest Flame	Acmena 'Forest Flame'	200mm	1.5 - 2.0m	1.0 - 1.5m	N
AlpCae	68	Native Ginger	Alpinia caerulea	200mm	0.9 - 1.5m	0.9 - 1.2m	N
CalAnz	54	White Bottle Brush	Callistemon citrinus 'White Anzac'	200mm	0.9 - 1.1m	2.0 - 3.0m	N
CalEnd	58	Scarlet Bottlebrush	Callistemon citrinus 'Endavour'	200mm	3 - 5m	2.0 - 3.5m	N
CalRed	67	Red Alert Bottle Brush	Callistemon 'Red Alert'	200mm	1.0 - 1.5m	2.0 - 3.0m	N
CorAlb	25	White Correa	Correa alba	200mm	0.9 - 1.5m	0.9 - 1.2m	N
CorStri	91	Narrow Palm Lily	Coralyline stricta congesta	200mm	1 - 2m	0.8 - 1.0m	N
CosEve	70	Evening Glow Mirror Plant	Coprosma 'Evening Glow'	200mm	1.2 - 1.5m	0.9 - 1.2m	N
DorExc	29	Gymea Lily	Doryanthes excelsa	200mm	1.5 - 2m	1.2 - 2.0m	N
GreHon	39	Honey Gem Grevillea	Grevillea 'Honey Gem'	200mm	3.0 - 4.0m	2.0 - 3.0m	N
GreLin	37	White Spider Flower	Grevillea linearifolia	200mm	0.9 - 1.5m	0.9 - 1.2m	N
GreSer	11	Pink Spider Flower	Grevillea sericea	200mm	0.9 - 1.5m	0.9 - 1.2m	N
LepCar	11	Tea Tree	Leptospermum "Cardwell"	200mm	2 - 3m	2.5 - 4m	N
MelCla	103	Claret Tops Honey Myrtle	Melaleuca 'Claret Tops'	200mm	0.9 - 1.1m	0.6 - 1.0m	N
MelThy	20	Thyme Honey-myrtle	Melaleuca thymifolia	200mm	0.75 - 0.9m	0.6 - 0.9m	N
SyzRes	38	Resilience Lilly Pilly	Syzygium 'Resilience'	200mm	2 - 3m	1.2 - 2.0m	N
WesFru	48	Jervis Gem	Westringia fruticosa 'Jervis Gem'	200mm	0.8 - 1.2m	0.8 - 1.2m	N
Ground Covers							
LomTan	287	Spiny-headed mat rush	Lomandra longifolia 'Tanika'	150mm	0.45 - 0.6m	0.6 - 0.9m	N
DiaTas	129	Flax Lily	Dianella tasmanica 'Tasred'	150mm	0.4 - 0.5m	0.4 - 0.5m	N
MyoYar	106	Carpet Spreading Myoporum	Myoporum parvifolium 'Yareena'	150mm	0.05 - 0.1m	0.8 - 1.0m	N
DicEme	73	Emerald Falls Dichondra	Dichondra 'Emerald Falls'	150mm	0.0 - 0.3m	0.9 - 1.2m	N
HypGol	99	Gold Nuget	Hymenosporum flavum 'Gold Nuguet'	150mm	0.10 - 0.15m	0.8 - 1.0m	N
DiaCass	268	Cassa Blue Native Flax	Dianella caerulea 'Cassa Blue'	140mm	0.3 - 0.4m	0.3 - 0.4m	N
GooGold	20	Gold Cover Goodenia	Goodenia ovata 'Gold Cover'	150mm	0.05 - 0.1m	0.8 - 1.0m	N
CasCou	46	Cousin It	Casuarina 'Cousin It'	150mm	0.10 - 0.15m	0.8 - 1.0m	N
TheAus	41	Kangaroo Grass	Themeda australis	150mm	0.9 - 1.5m	0.3 - 0.6m	N
VioHed	10	Native Violet	Viola hederacea	150mm	0.0 - 0.3m	1.2 - 2.0m	N
WesMun	68	Mundi	Westringia fruticosa 'Mundi'	150mm	0.45 - 0.6m	0.9 - 1.2m	N
BanBir	92	Birthday Candle	Banksia spinulosa 'Birthday Candle'	150mm	0.45 - 0.6m	0.9 - 1.2m	N
BraMul	7	Break O Day	Brachyscome multifida	150mm	0.2 - 0.3m	0.4 - 0.5m	N
GrePoor	37	Royal Mantle Grevillea	Grevillea 'Poorinda Royal Mantle'	150mm	0 - 0.1m	2.0 - 3.0m	N

GREENLAND DESIGN												
TWELVE MONTHS MAINTENANCE SCHEDULE												
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Plant Care												
Monitoring												
Pruning as required												
Deadhead /tip pruning												
Slow release fertilise												
Rapid soluble fertilise as required												
Cut back perennials and grasses												
Watering as required												
Garden Bed												
Edging												
Remove weeds and herbicide spraying as required												
Top up mulch as required												
Dead foliage removal												
Pest Management												
Monitoring and herbicide spraying as required												
Turfed Area												
Fertilise												
Make good turf as required												
Winter clean up												
Remove dead foliage and pruning as required												



LOCKED BAG 5022
PARARAMATTA NSW 2124
PHONE No 1800 738 7118
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Architects. Nominated Architect: Barry John Rush
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				ARCHITECT BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 8028
				PROJECT MANAGER LAND & HOUSING CORPORATION PH (02) 8753 9000
				LANDSCAPE CONSULTANT GREENLAND DESIGN PTY LTD PH (0433) 164 198
B	22/06/2023	FOR DA		
A	04/05/2023	FOR DA		
REV	DATE	NOTATION/AMENDMENT		
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				

BUSINESS PARTNER:

PROJECT:
HOUSING DEVELOPMENT
10-16 ALBERT STREET
CASINO NSW
LOTS 22, 23, 24 & 25 IN DP36270

TITLE:
LANDSCAPE DETAILS AND SPECIFICATION
FILE: 2733
PLOTTED:

STATUS: DA
DATE: 22/06/2023
SCALE: 1:100
STAGE: DRAWN: CL
CHECKED: GD
PROJECT NO: BGZDZ
HOUSING ARCHITECT: 
SHEET: 2 of 2
REV: B

10-16 ALBERT STREET, CASINO STORMWATER SERVICES

LEGEND

ABBREVIATIONS

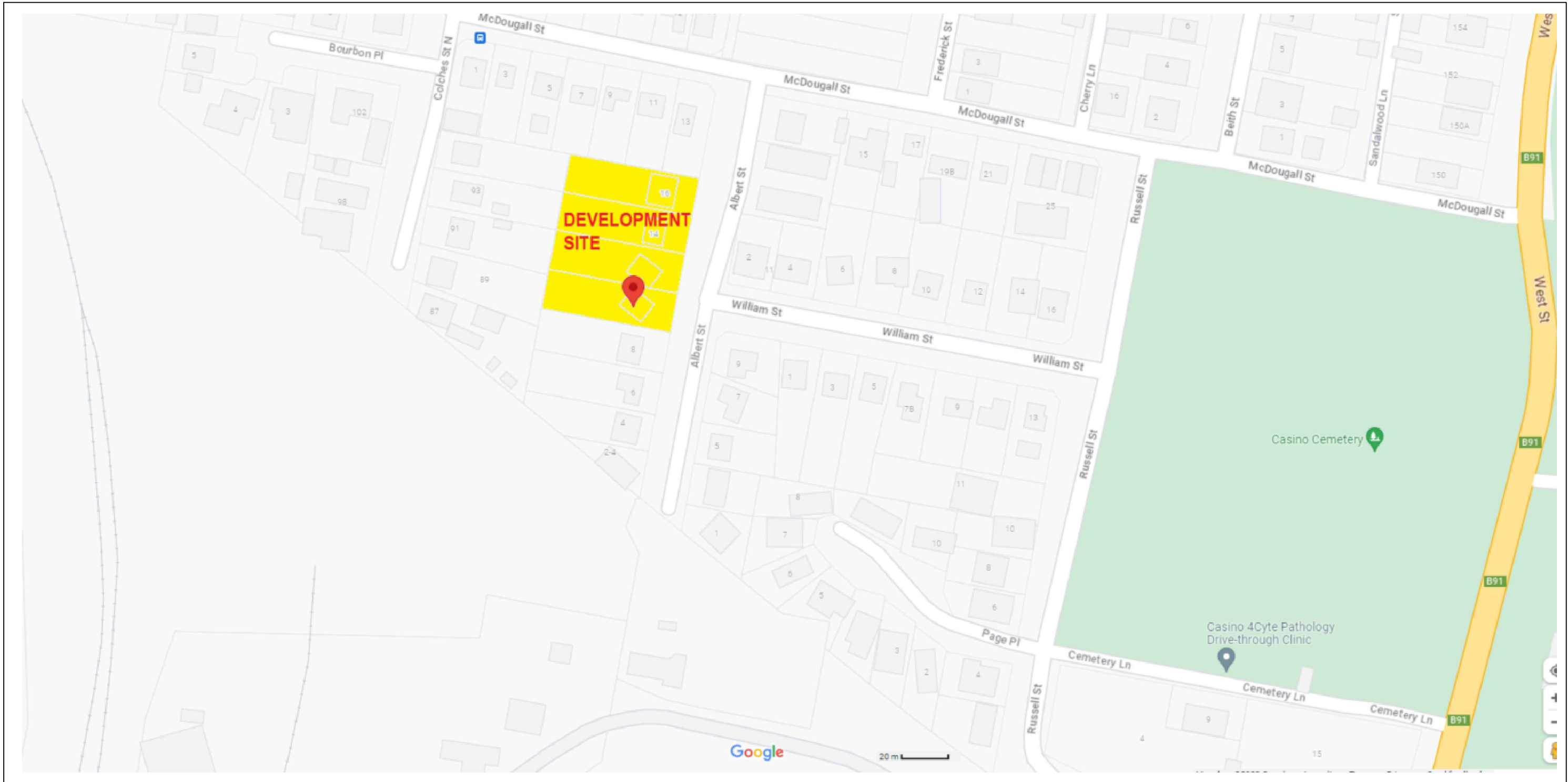
AEP	ANNUAL EXCEEDANCE PROBABILITY
ARI	AVERAGE RECURRENCE INTERVAL
CO	CLEAROUT
Ø	DIAMETER
DP	DOWNPIPE
DWG	DRAWING
e	EXISTING
GMS	GALVANISED MILD STEEL
GTD	GRADED TRENCH DRAIN
IL	INVERT LEVEL
kPa	KILOPASCALS
L	LITRES
L/s	LITRES PER SECOND
m	METRES
m ²	SQUARE METRES
m ³	CUBIC METRES
m/s	METRES PER SECOND
mm	MILLIMETRES
NOM	NOMINAL
OP	OVERFLOW
PVC	UNPLASTICIZED POLYVINYL CHLORIDE
Q100	QUANTITY OF FLOW FOR 100 YEAR ARI STORM
Q20	QUANTITY OF FLOW FOR 20 YEAR ARI STORM
RDP	RAINWATER DOWNPIPE
RHS	RECTANGULAR HOLLOW SECTION
RL	REDUCED LEVEL
SAC	SEWER ACCESS CHAMBER
SWP	STORMWATER PIT
UNO	UNLESS NOTED OTHERWISE

PIPE SERVICES

	EXISTING/NATURAL CONTOUR
	STORMWATER DRAINAGE
	EXISTING LARGE STORMWATER
	RAINWATER DRAINAGE
	SUBSOIL DRAINAGE
	CATCHMENT EXTENT
	SEDIMENT FENCE
	EXISTING AUTHORITY WATER MAIN
	EXISTING AUTHORITY SEWER MAIN
	EXISTING AUTHORITY TELECOMMUNICATION CONDUIT

SYMBOLS

	PENETRATING PIPE
	NON-PENETRATING PIPE
	PENETRATING OFFSET
	NON-PENETRATING OFFSET
	PENETRATING TEE DROPPER
	NON-PENETRATING TEE DROPPER
	PIPE BREAK
	CAPPED SERVICE
	OPEN ENDED PIPE
	CONNECT TO EXISTING PIPE
	STREET HYDRANT
	SURFACE FLOW DIRECTION
	SURFACE GRADING TO DIRECT FLOW
	PIPE NETWORK NODE
	CLEAR OUT
	GRADED TRENCH DRAIN
	DETAIL NUMBER & DESCRIPTION DRAWING REFERENCE & SCALE



STREET LOCATION PLAN

SCHEDULE OF DRAWINGS	
DRAWING No.	DRAWING TITLE
SYD23189-SW000	COVER SHEET, LEGEND & DRAWING SCHEDULE
SYD23189-SW001	EROSION & SEDIMENT CONTROL PLAN
SYD23189-SW100	STREET CONNECTION PLAN
SYD23189-SW101	GROUND FLOOR PLAN
SYD23189-SW102	FIRST FLOOR PLAN
SYD23189-SW103	ROOF PLAN
SYD23189-SW201	DETAIL SHEET 1
SYD23189-SW202	DETAIL SHEET 2
SYD23189-SW203	DETAIL SHEET 3

IMPORTANT - FOR PRINCIPAL CONTRACTOR						
TO ENABLE THE ISSUE OF STORMWATER CERTIFICATION PERMITTING OCCUPATION IN ALIGNMENT WITH COUNCIL LEGISLATION, SITE INSPECTIONS MUST OCCUR. THE PRINCIPAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL STORMWATER INSPECTIONS. ABSENCE OF INSPECTION WILL PREVENT ISSUE OF STORMWATER CERTIFICATION. SITE INSPECTIONS ARE TO BE COMPLETED BY ERBAS AS FOLLOWS:						
INSPECTION NO.	STORMWATER INSPECTION REQUIREMENTS	ERBAS REPRESENTATIVE		INSPECTION DATE	PASS	FAIL
		NAME	SIGNATURE		TICK	✓
1	INSPECTION OF INGROUND STORMWATER DRAINAGE PRIOR TO BACKFILL (MANDATORY)					
2	INSPECTION OF ANY INGROUND STORMWATER DRAINAGE NOT VIEWED AT INSPECTION NO. 1 (OPTIONAL)					
3	INSPECTION OF INFILTRATION PIT / TANK / TRENCH PRIOR TO BACKFILL (JOB SPECIFIC)					
4	FINAL INSPECTION ON COMPLETION OF ALL LANDSCAPING & POST COMMISSIONING OF THE STORMWATER SYSTEM (MANDATORY)					
5	SURVEY OF RAINWATER & ONSITE DETENTION TANKS & WORKS AS EXECUTED STORMWATER DRAWINGS (MANDATORY) *TO BE PROVIDED TO ERBAS PRIOR TO INSPECTION					

Discipline	Eng. No.	Date	Revisions
ARCHITECT			
ENGINEERING			
LANDSCAPE			
STRUCTURAL			
MECHANICAL			
ELECTRICAL			
ENVIRONMENTAL			
OTHER			

THIS DRAWING HAS BEEN PREPARED IN CONJUNCTION WITH THE FOLLOWING DRAWINGS:
NO DESIGN AND DETAILS SHOWN ON THIS DRAWING ARE APPLICABLE TO THE PROJECT ONLY AND MAY BE USED FOR OTHER PROJECTS OR PURPOSES WITHOUT THE WRITTEN PERMISSION OF ERBAS & ASSOCIATES PTY LTD. ANY SUCH USE IS AT THE USER'S RISK.
ALL DIMENSIONS AND LEVELS MUST BE CHECKED PRIOR TO CONSTRUCTION. THE DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS.

ISSUE	DATE	AMENDMENT
PI	17.05.23	DEVELOPMENT APPLICATION

ARCHITECT

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Architects. Nominated Architect: Barry John Rush
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www.barryrush.com.au

CLIENT

LOCKED BAG 9022
PARRAMATTA NSW 2124
PHONE NO 1800 738 718
https://www.dps.nsw.gov.au/land-and-housing-corporation

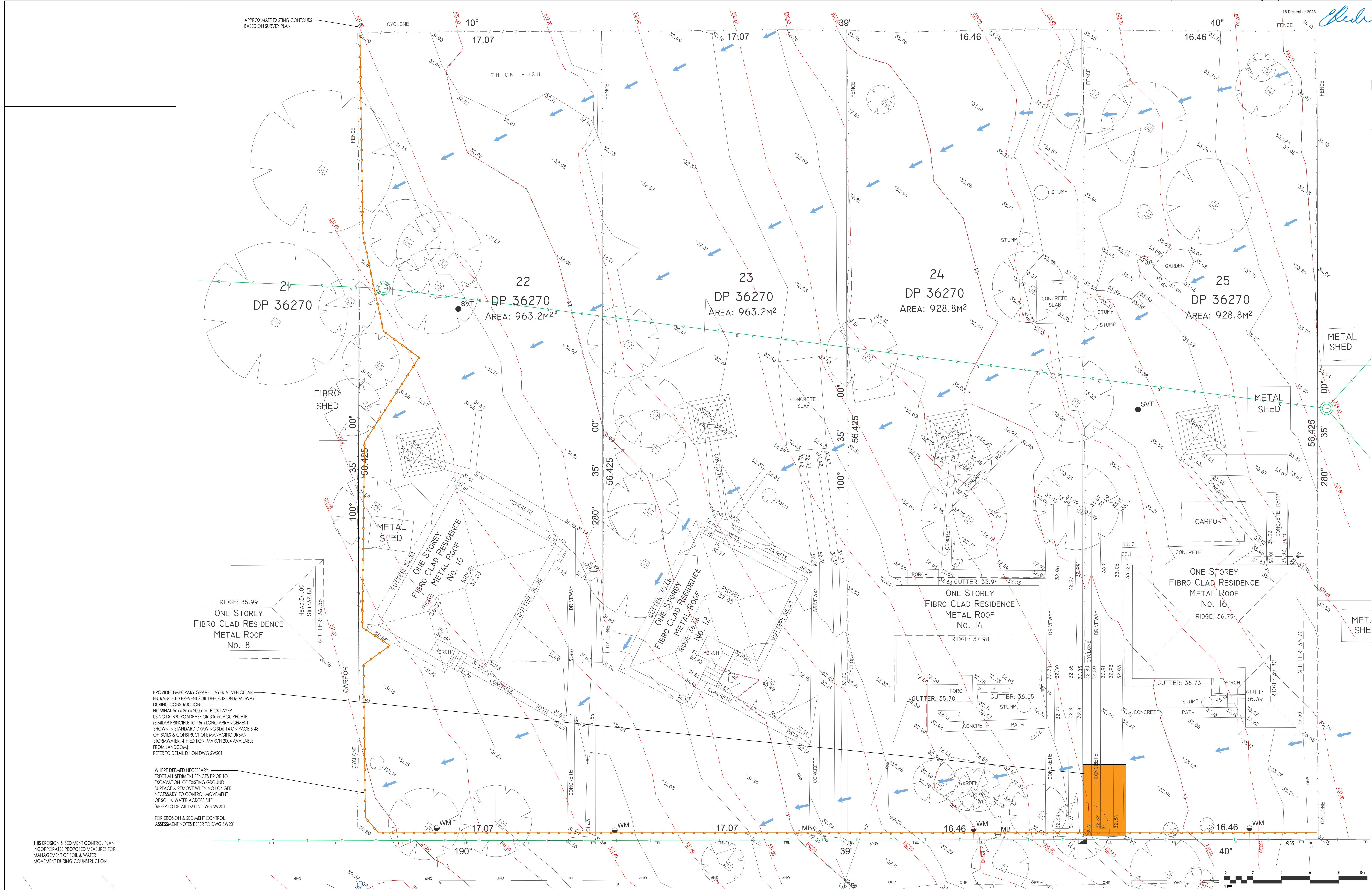
BUILDING SERVICES ENGINEER

Sydney Melbourne Manila
L1, 15 Atchison Street, S1 Leonards NSW 2065
Ph: (02) 9437 1022 general@erbas.com.au
www.erbas.com.au

DESIGNED	TY
CHECKED	MS
NORTH POINT	

PROJECT
MULTI-DWELLING
HOUSING DEVELOPMENT
10-16 ALBERT STREET,
CASINO NSW
(RICHMOND VALLEY COUNCIL)
CLIENT PROJECT REFERENCE: BGZDZ

DRAWING TITLE STORMWATER SERVICES COVER SHEET, LEGEND & DRAWING SCHEDULE			
SCALE of 81	PROJECT No.	DRAWING No.	ISSUE
DATE MAY 2023 DRAWN BY	SYD23189-SW000	P1	



PROVIDE TEMPORARY GRAVEL LAYER AT VEHICULAR ENTRANCE TO PREVENT SOIL DEPOSITS ON ROADWAY DURING CONSTRUCTION:
NOMINAL 5m x 3m x 200mm THICK LAYER
USING DGB20 ROADBASE OR 30mm AGGREGATE
(SIMILAR PRINCIPLE TO 15m LONG ARRANGEMENT SHOWN IN STANDARD DRAWING SD6-14 ON PAGE 6-48 OF SOILS & CONSTRUCTION: MANAGING URBAN STORMWATER, 4TH EDITION, MARCH 2004 AVAILABLE FROM LANDCOM)
REFER TO DETAIL D2 ON DWG SW201

WHERE DEEMED NECESSARY:
ERECT ALL SEDIMENT FENCES PRIOR TO EXCAVATION OF EXISTING GROUND SURFACE & REMOVE WHEN NO LONGER NECESSARY TO CONTROL MOVEMENT OF SOIL & WATER ACROSS SITE
(REFER TO DETAIL D2 ON DWG SW201)

FOR EROSION & SEDIMENT CONTROL ASSESSMENT NOTES REFER TO DWG SW201

THIS EROSION & SEDIMENT CONTROL PLAN INCORPORATES PROPOSED MEASURES FOR MANAGEMENT OF SOIL & WATER MOVEMENT DURING CONSTRUCTION

Discipline	Drawn By	Date	Revised By
ARCHITECT			
ENGINEER			
ENVIRONMENTAL			
LANDSCAPE			
OTHER			

THIS DRAWING HAS BEEN PREPARED IN CONNECTION WITH THE FOLLOWING DRAWINGS:

Discipline	Drawn By	Date	Revised By
ARCHITECT			
ENGINEER			
ENVIRONMENTAL			
LANDSCAPE			
OTHER			

ISSUE	DATE	AMENDMENT
PI	17.05.23	DEVELOPMENT APPLICATION

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PROJECT
MULTI-DWELLING
HOUSING DEVELOPMENT
10-16 ALBERT STREET,
CASINO NSW
(RICHMOND VALLEY COUNCIL)
CLIENT PROJECT REFERENCE: BGJZD

DRAWING TITLE
STORMWATER SERVICES
EROSION & SEDIMENT CONTROL PLAN

SCALE OF 81
1:100
DATE
MAY 2023
DRAWN BY

PROJECT No.
DRAWING No.
ISSUE

SYD23189-SW001
P1

ALL EXISTING UNDERGROUND SERVICES INDICATED ON PLAN ARE BASED ON INFORMATION AVAILABLE AT THE TIME OF DESIGN & ARE SHOWN IN ASSUMED LOCATIONS ONLY. INVESTIGATE & CONFIRM ALL RELEVANT LOCATIONS & CONNECTIONS PRIOR TO INSTALLATION OF NEW PIPES & ADVISE SUPERINTENDENT OF ANY DISCREPANCIES.

INVESTIGATE LOCATION OF ALL EXISTING SERVICES AFFECTED BY NEW WORKS & DISUSE, CAP OFF, DIVERT, UPGRADE, RENEW, REINSTATE & RECONNECT SERVICES AS REQUIRED. COORDINATE ALL TEMPORARY SHUTDOWNS WITH SITE SUPERINTENDENT, PROVIDING REASONABLE & ADEQUATE ADVANCE NOTICE.

WHERE LANDSCAPED SOIL COVER IS LESS THAN 300mm: ALLOW TO INSTALL DUCTILE IRON PIPEWORK

WHERE APPLICABLE: PRIOR TO EXCAVATION CONTACT DIAL-BEFORE-YOU-DIG ON 1100 TO AVOID DAMAGE TO EXISTING SERVICES

DISCHARGE TO GRASS DRAINAGE CHANNEL IN ACCORDANCE WITH COUNCIL REQUIREMENTS. UPON COMPLETION OF WORKS RESTORE DISTURBED SURFACES TO SUIT EXISTING LANDSCAPING WHERE NECESSARY

REFER TO DWG SW203 FOR PIPE & PIT SCHEDULES

EXISTING SHALLOW VALLEY GRASS CHANNEL

ASSUMED EXISTING DRAINAGE UNDER NEIGHBOURING DRIVEWAY TO REMAIN

DRIVEWAY CROSSOVER TO BE 2/300MM CLASS 4, RPL RCP CONCRETE PIPES RUN AT 0.4% TERMINATED WITH SLOPING (CRASH COMPLIANT) HEADWALLS AT EITHER END WITHIN GRASSED DRAINAGE CHANNEL. COVER TO BE NOT LESS THAN 150MM INCLUSIVE OF MINIMUM 100MM CONCRETE AND 50MM OF SUITABLE SUBSTRATE.

BUILDER TO LOCALLY MODIFY GRASSED DRAINAGE CHANNEL SURFACE LEVEL TO ACCOMMODATE PROPOSED DRIVEWAY & RHS DRAINAGE CONDUITS AS REQUIRED

WHEREVER POSSIBLE: LAY PIPEWORK TO AVOID EXISTING & PROPOSED TREES (TYPICAL)

OVERFLOW FROM DETENTION TANK

STORMWATER TREATMENT UNIT EQUAL TO ECOSOL STORMPIT CLASS 2-10L

STORMWATER TREATMENT UNIT EQUAL TO ECOSOL GPT 4300

PROPOSED DISH DRAIN DEPRESSION DRIVEWAY CROSSING AS REQUIRED

PROPOSED DISH DRAIN DEPRESSION DRIVEWAY CROSSING AS REQUIRED

ALBERT STREET

WILLIAM STREET



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Discipline	Dwg. No.	Date	Revisions
ARCHITECT	AD	04.10.23	-
STRUCTURAL			
MECHANICAL			
ELECTRICAL			
CIVIL			
LANDSCAPE			

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ISSUE	DATE	AMENDMENT
P1	17.05.23	DEVELOPMENT APPLICATION
P2	06.10.23	DEVELOPMENT APPLICATION

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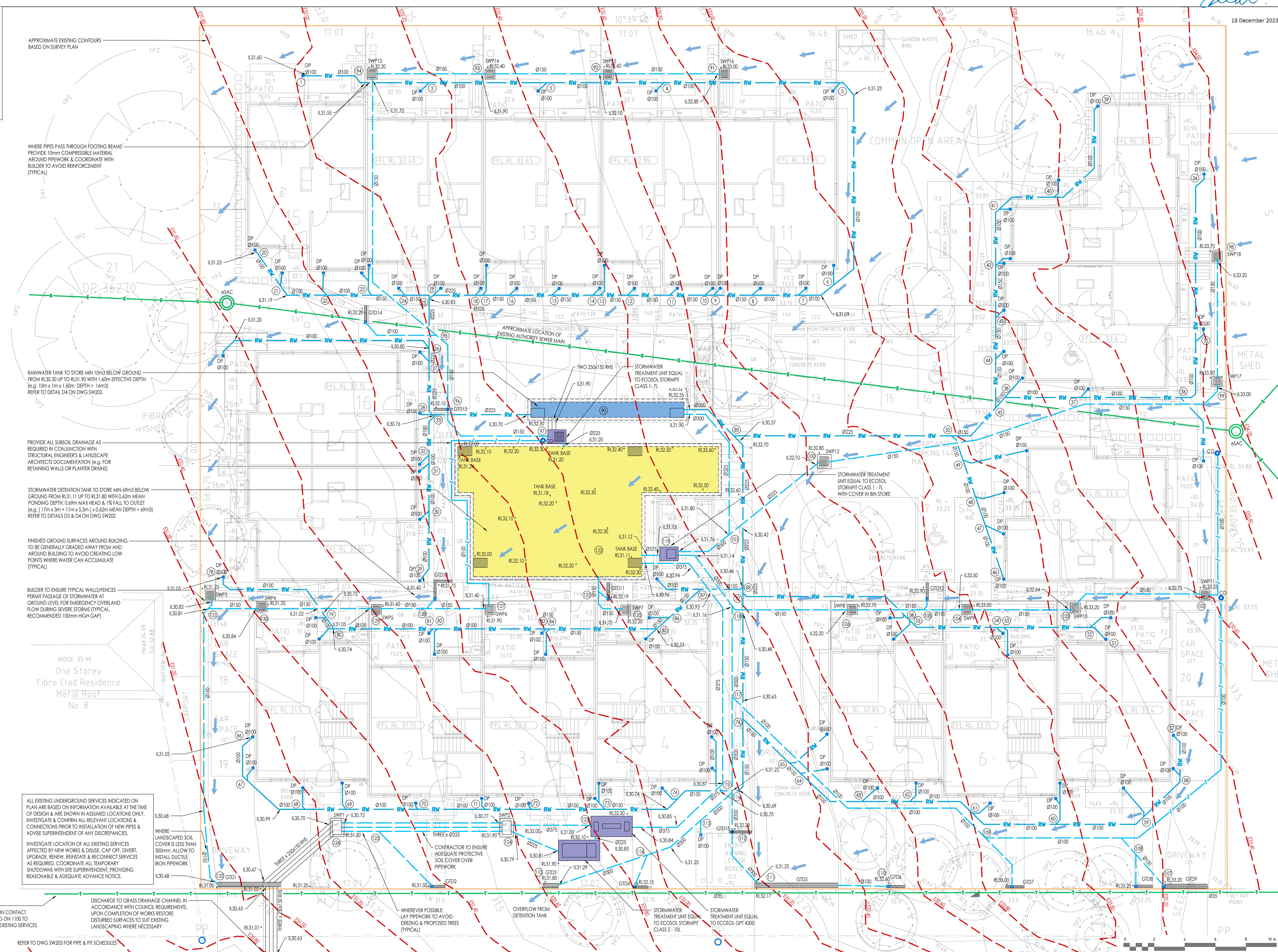
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PROJECT
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HOUSING DEVELOPMENT
10-16 ALBERT STREET,
CASINO NSW
(RICHMOND VALLEY COUNCIL)
CLIENT PROJECT REFERENCE: BGZDZ

DRAWING TITLE STORMWATER SERVICES STREET CONNECTION PLAN			
SCALE OF B1 1:100	PROJECT No.	DRAWING No.	ISSUE
DATE MAY 2023			
DRAWN IY	SYD23189-SW100	P2	



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Discipline	Dwg No.	Date	Revision
ARCHITECTURAL	A00	(06.10.23)	-
MECHANICAL			
STRUCTURAL			
MECHANICAL			
ELECTRICAL			
CIVIL			
LANDSCAPE			

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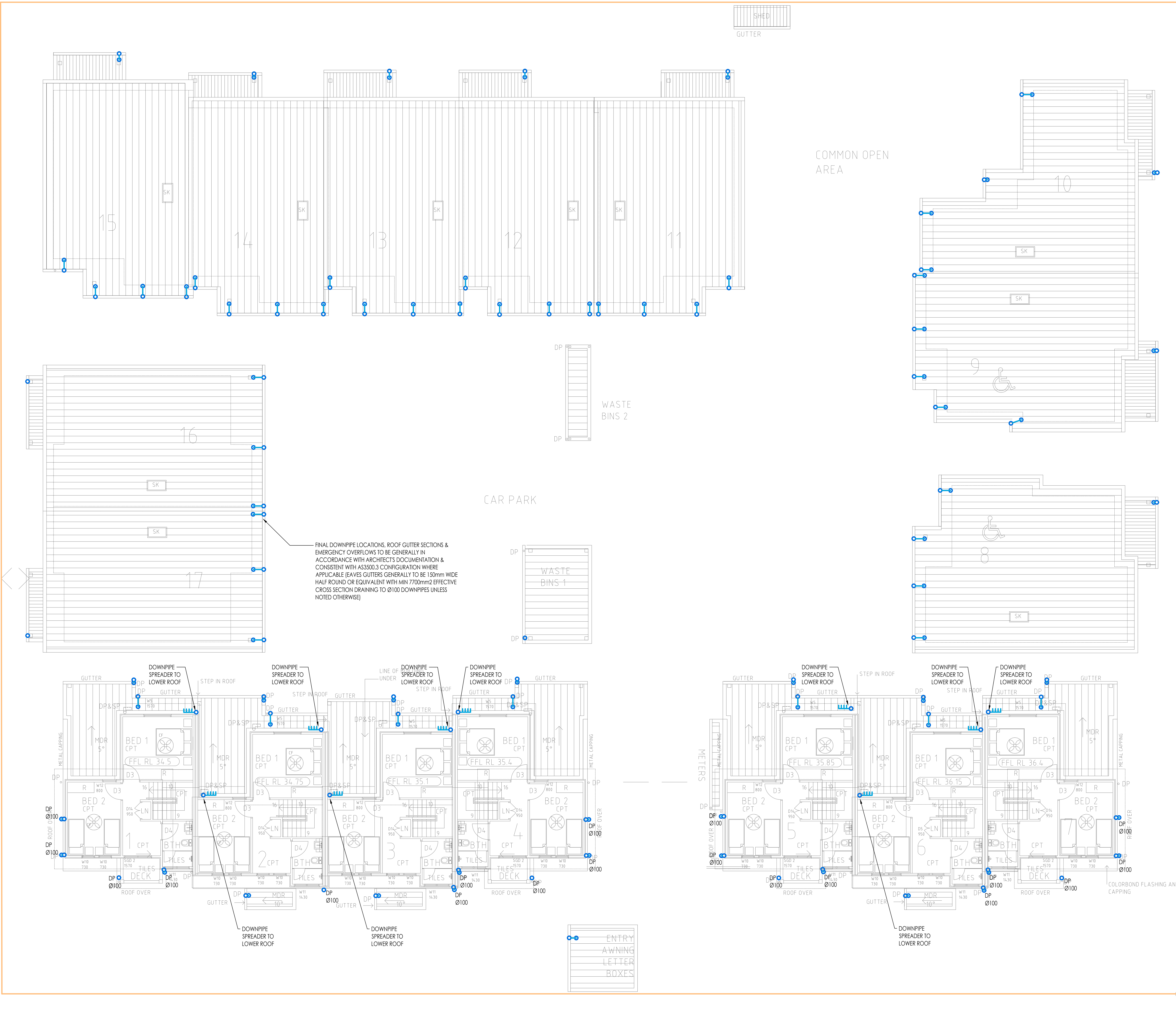
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HOUSING DEVELOPMENT
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(RICHMOND VALLEY COUNCIL)
CLIENT PROJECT REFERENCE: BGZDZ

DRAWING TITLE STORMWATER SERVICES GROUND FLOOR PLAN			
SCALE OF B1 1:100	PROJECT No.	DRAWING No.	ISSUE
DATE MAY 2023	SYD23189-SW101		P2
DRAWN			



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Discipline	Draw No.	Date	Revisions
ARCHITECT	AW	06.10.23	-
STRUCTURAL			
ELECTRICAL			
MECHANICAL			
LANDSCAPE			

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ISSUE	DATE	AMENDMENT
P1	17.05.23	DEVELOPMENT APPLICATION
P2	06.10.23	DEVELOPMENT APPLICATION

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HOUSING DEVELOPMENT
10-16 ALBERT STREET,
CASINO NSW
(RICHMOND VALLEY COUNCIL)
CLIENT PROJECT REFERENCE: BGZDZ

DRAWING TITLE
STORMWATER SERVICES
FIRST FLOOR PLAN

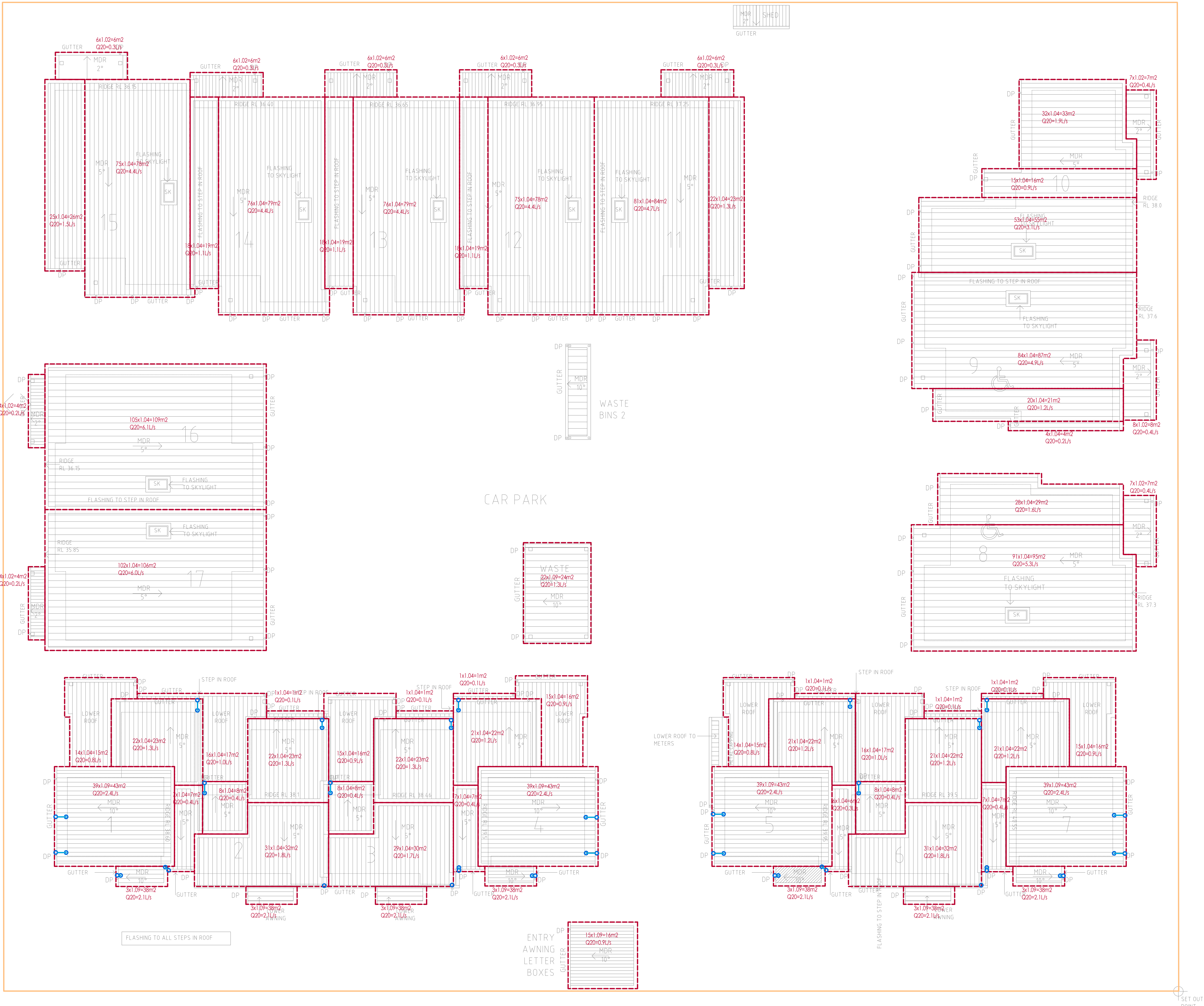
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PROJECT NO.
DRAWING NO.
ISSUE

DATE
MAY 2023
DRAWN BY

SYD23189-SW102

P2



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Discipline	Draw No.	Date	Revision
ARCHITECT	AD	06.10.23	-
STRUCTURAL			
Mechanical			
Electrical			
Civil			
Landscaping			

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ISSUE	DATE	AMENDMENT
P1	17.05.23	DEVELOPMENT APPLICATION
P2	06.10.23	DEVELOPMENT APPLICATION

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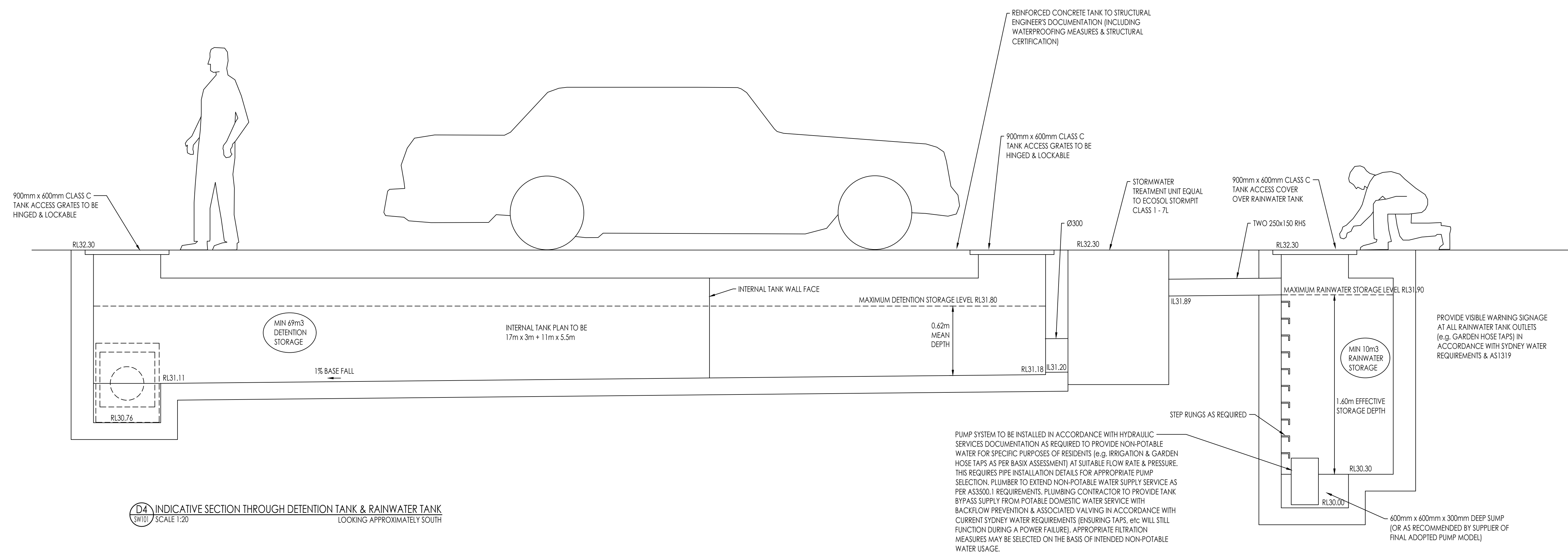
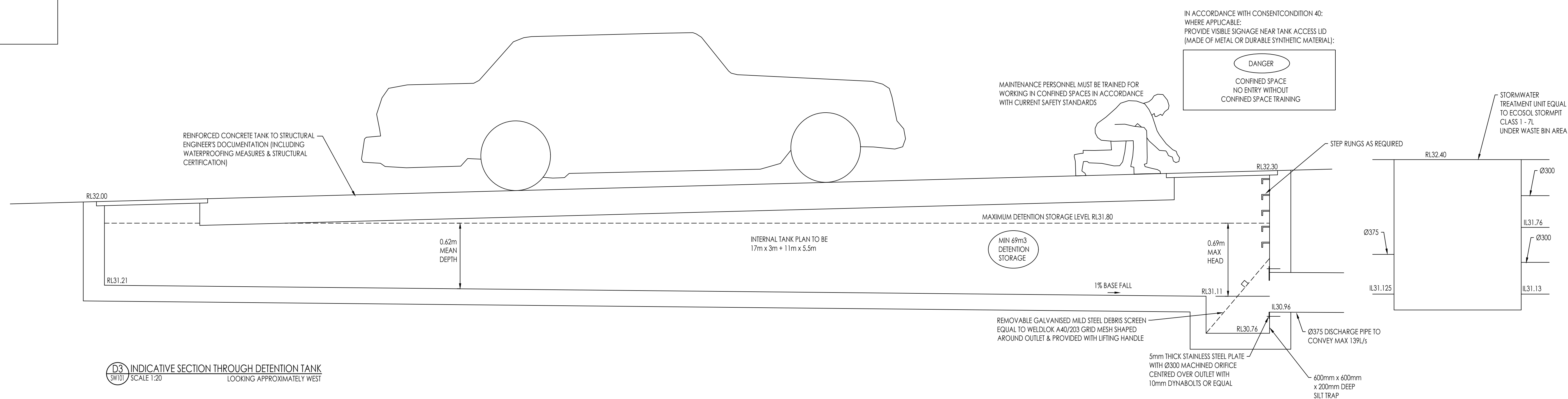
DRAWING TITLE
STORMWATER SERVICES
ROOF PLAN

SCALE OF B1
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DATE
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BY

PROJECT NO.
DRAWING NO.
ISSUE

SYD23189-SW103
P2

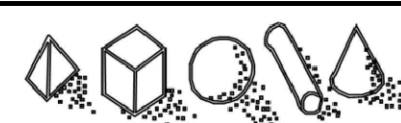
DRAWING TITLE			
STORMWATER SERVICES			
DETAIL SHEET 1			
SCALE OF 81	PROJECT No.	DRAWING No.	ISSUE
DATE	SYD23189-SW201		P1
MAY 2023			
DRAWN			



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Discipline	Dwg. No.	Date	Revision
ARCH PLAN			
ARCH ELEV			
ARCH ROOF			
STRUCTURAL			
MECHANICAL			
ELECTRICAL			
CIVIL			
LANDSCAPE ARCH			

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DRAWING TITLE
STORMWATER SERVICES
DETAIL SHEET 2

SCALE of B1	PROJECT No.	DRAWING No.	ISSUE
-			
DATE	SYD23189-SW202		P
MAY 2023			
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